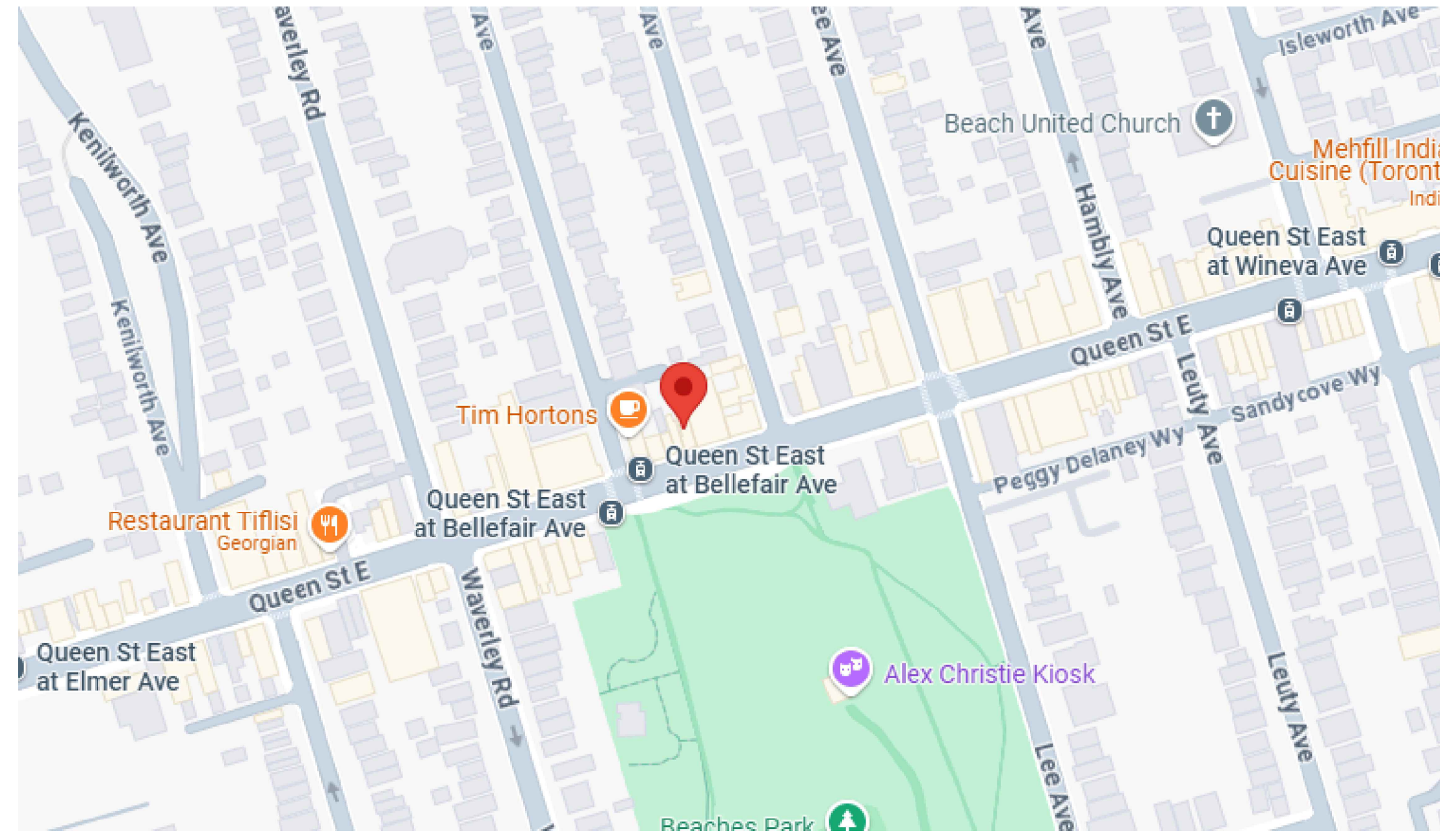


## GENERAL NOTES

- REVIEW OF DOCUMENTS:** PRIOR TO INITIATING ANY WORK, THE CONTRACTOR MUST THOROUGHLY REVIEW ALL DRAWINGS, SPECIFICATIONS, AND ON-SITE CONDITIONS. ANY DISCREPANCIES OR UNCERTAINTIES SHOULD BE PROMPTLY REPORTED IN WRITING TO THE OWNER FOR CLARIFICATION.
- PERMITTING REQUIREMENTS:** OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF TORONTO BEFORE COMMENCING WORK. ENSURE ALL REQUIRED DOCUMENTATION IS PREPARED IN ACCORDANCE WITH CITY GUIDELINES.
- SCOPE OF WORK:** THIS PROJECT IS LIMITED TO INTERIOR ALTERATIONS ONLY. NO STRUCTURAL, EXTERIOR, OR FOUNDATION WORK WILL BE PERFORMED.
- EXISTING CONDITIONS:** VERIFY EXISTING SITE CONDITIONS BEFORE STARTING WORK. ANY UNFORESEEN ISSUES MUST BE REPORTED TO THE OWNER.
- FIRE PROTECTION & SAFETY COMPLIANCE:** MAINTAIN COMPLIANCE WITH THE ONTARIO FIRE CODE (OFC) AND ONTARIO BUILDING CODE (OBC) FOR FIRE SAFETY, INCLUDING EMERGENCY LIGHTING AND EXIT SIGNAGE. ENSURE THE EXISTING FIRE EXIT DOOR REMAINS OPERABLE.
- MECHANICAL & VENTILATION SYSTEMS:** MAINTAIN PROPER VENTILATION IN ACCORDANCE WITH THE ONTARIO BUILDING CODE (OBC). EXISTING MECHANICAL SYSTEMS WILL BE RETAINED UNLESS OTHERWISE SPECIFIED.
- PLUMBING & DRAINAGE:** ALL MODIFICATIONS TO PLUMBING MUST COMPLY WITH LOCAL CODES. VERIFY EXISTING PLUMBING CONDITIONS AND EXPLORE ABOVE-FLOOR OPTIONS WHERE APPLICABLE.
- ELECTRICAL COMPLIANCE:** ELECTRICAL WORK MUST FOLLOW THE ONTARIO ELECTRICAL SAFETY CODE (OESC). MAINTAIN EXISTING LIGHTING AS PER THE CURRENT SHOP SETUP. ADDITIONAL POWER OUTLETS AND DATA POINTS WILL BE INSTALLED AS REQUIRED.
- INTERIOR FINISHES:** ALL INTERIOR WALLS WILL BE FINISHED WITH PAINT ONLY. NO STUCCO OR EXTERIOR FINISH APPLICATIONS ARE INCLUDED.
- DEMOLITION CONSIDERATIONS:** ONLY INTERIOR ELEMENTS IDENTIFIED IN THE PLANS WILL BE REMOVED. THE EXISTING TOILET WILL REMAIN INTACT.
- FIXTURES & EQUIPMENT:** WALL-MOUNTED TVS NOTED IN THE SKETCH WILL BE INCLUDED IN THE PLAN PROPOSAL. ENSURE PROPER MOUNTING PER MANUFACTURER SPECIFICATIONS.
- ACCESSIBILITY & EGRESS:** MAINTAIN CLEAR ACCESS TO UTILITY PANELS, EMERGENCY EXITS, AND SERVICE AREAS. FIRE EXIT DOORS WILL REMAIN AS EXISTING.
- CONSTRUCTION CLEAN-UP:** THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF DEBRIS AND MAINTAINING A CLEAN WORK ENVIRONMENT.

## VICINITY MAP



## SHEET INDEX

- |      |                                   |
|------|-----------------------------------|
| A0.0 | COVER SHEET                       |
| A0.1 | SITE PLAN                         |
| A1.0 | EXISTING/DEMOLISH PLAN            |
| A1.1 | PROPOSED FLOOR PLAN               |
| A2.0 | PROPOSED INTERIOR ELEVATIONS      |
| A3.0 | PROPOSED LIFE SAFETY PLAN         |
| M1.0 | EXISTING MECHANICAL PLAN          |
| E1.0 | PROPOSED/EXISTING ELECTRICAL PLAN |
| P1.0 | PROPOSED PLUMBING PLAN            |
| S1.0 | STRUCTURE DETAIL                  |

## SCOPE OF WORK

RENOVATION FOR FIRST FLOOR OF COMMERCIAL BUILDING  
© 2010 QUEEN STREET EAST, ON

## PROPERTY INFORMATION

APN:	--
ADDRESS:	2010 QUEEN STREET EAST, ON
PROPERTY TYPE:	COMMERCIAL
ZONING:	COMMERCIAL
MUNICIPALITY NAME:	TORONTO
OCCUPANCY RATING:	--

## BUILDING DESCRIPTION

EXISTING SHOP AREA:	55.74 SQ M
EXISTING BUILDING AREA:	111.48 SQ M
EXISTING STORIES:	2.0
LOT AREA:	112.17 SQ M
YEAR BUILT:	1908

## CODE COMPLIANCE

- 2024 ONTARIO BUILDING CODE (OBC):** GOVERNS STRUCTURAL REQUIREMENTS AND GENERAL CONSTRUCTION PRACTICES IN ONTARIO. THE 2024 EDITION CAME INTO EFFECT ON JANUARY 1, 2025.
- ONTARIO FIRE CODE:** RELATES TO FIRE SAFETY REGULATIONS APPLICABLE TO COMMERCIAL BUILDINGS.
- ONTARIO ELECTRICAL SAFETY CODE (OESC):** ADDRESSES ELECTRICAL INSTALLATIONS AND SAFETY STANDARDS.
- ONTARIO MECHANICAL CODE:** REGULATES MECHANICAL SYSTEMS, INCLUDING HEATING, VENTILATION, AND AIR CONDITIONING.
- ONTARIO PLUMBING CODE:** COVERS PLUMBING INSTALLATIONS AND MODIFICATIONS.
- CITY OF TORONTO ZONING BY-LAW 569-2013:** PERTAINS TO LAND USE, INCLUDING REGULATIONS ON COMMERCIAL SPACE CONVERSIONS AND REQUIRED PARKING. THIS BY-LAW HAS BEEN AMENDED MULTIPLE TIMES, WITH THE LATEST CONSOLIDATION INCLUDING AMENDMENTS UP TO APRIL 1, 2024.
- CITY OF TORONTO MUNICIPAL CODE:** ENCOMPASSES VARIOUS REGULATIONS, INCLUDING THOSE RELATED TO BUILDING STANDARDS AND ENVIRONMENTAL REQUIREMENTS.

## FIRE PROTECTION

- SMOKE ALARMS:**  
INSTALL SMOKE ALARMS ON EVERY LEVEL OF THE BUILDING AND NEAR ALL SLEEPING AREAS, AS REQUIRED BY THE ONTARIO FIRE CODE AND CITY OF TORONTO REGULATIONS. SMOKE ALARMS MUST BE HARDWIRED, INTERCONNECTED, AND EQUIPPED WITH BATTERY BACKUP. CONDUCT REGULAR TESTING AND MAINTENANCE TO ENSURE FUNCTIONALITY.
- CARBON MONOXIDE (CO) ALARMS:**  
INSTALL CO ALARMS ADJACENT TO EACH SLEEPING AREA IN SUITES WITH FUEL-BURNING APPLIANCES, FIREPLACES, OR THOSE SHARING WALLS/FLOORS WITH A SERVICE ROOM CONTAINING SUCH APPLIANCES OR A STORAGE GARAGE. CO ALARMS MUST COMPLY WITH CAN/CSA-6.19 OR UL 2034 STANDARDS AND MAY BE HARDWIRED, BATTERY-OPERATED, OR PLUG-IN UNITS.
- FIRE EXTINGUISHERS:**  
EQUIP THE PET SHOP WITH FIRE EXTINGUISHERS APPROPRIATE FOR THE SPECIFIC FIRE RISKS AS PER THE ONTARIO FIRE CODE. ENSURE EXTINGUISHERS ARE EASILY ACCESSIBLE, PROPERLY MAINTAINED, AND THAT STAFF ARE TRAINED IN THEIR USE.
- EMERGENCY LIGHTING & EXIT SIGNS:**  
INSTALL ILLUMINATED EXIT SIGNS AND EMERGENCY LIGHTING TO FACILITATE SAFE EVACUATION, IN COMPLIANCE WITH THE ONTARIO BUILDING CODE.
- FIRE SEPARATION & COMPARTMENTALIZATION:**  
MAINTAIN OR UPGRADE FIRE SEPARATIONS BETWEEN DIFFERENT OCCUPANCIES AND USES WITHIN THE BUILDING, AS REQUIRED BY THE ONTARIO BUILDING CODE, TO PREVENT FIRE SPREAD.
- FIRE SAFETY PLAN:**  
DEVELOP AND IMPLEMENT A FIRE SAFETY PLAN SPECIFIC TO THE PET SHOP'S OPERATIONS, IN COMPLIANCE WITH THE ONTARIO FIRE CODE. THE PLAN SHOULD INCLUDE EMERGENCY PROCEDURES, STAFF TRAINING, AND SCHEDULED MAINTENANCE OF FIRE PROTECTION EQUIPMENT.
- OCCUPANT LOAD & EGRESS:**  
DETERMINE THE MAXIMUM OCCUPANT LOAD FOR THE RENOVATED SPACE. ENSURE ADEQUATE EGRESS ROUTES (INCLUDING DOORS AND CORRIDORS) IN COMPLIANCE WITH THE ONTARIO BUILDING CODE.
- VENTILATION & AIR QUALITY:**  
DESIGN AND MAINTAIN VENTILATION SYSTEMS TO PROVIDE A SAFE AND HEALTHY ENVIRONMENT FOR BOTH ANIMALS AND HUMANS, IN COMPLIANCE WITH THE ONTARIO BUILDING CODE AND HEALTH REGULATIONS.
- HAZARDOUS MATERIALS STORAGE:**  
STORE AND HANDLE HAZARDOUS MATERIALS (E.G., CLEANING AGENTS, PET CARE PRODUCTS) IN ACCORDANCE WITH THE ONTARIO FIRE CODE AND OCCUPATIONAL HEALTH & SAFETY REGULATIONS TO PREVENT FIRE HAZARDS.

## GENERAL REQUIREMENTS

- CODE COMPLIANCE:** ALL WORK AT 2010 QUEEN STREET EAST, TORONTO, ONTARIO, MUST COMPLY WITH THE ONTARIO BUILDING CODE (OBC), ONTARIO FIRE CODE (OFC), AND ALL APPLICABLE MUNICIPAL REGULATIONS.
- PERMIT REQUIREMENTS:** A BUILDING PERMIT IS REQUIRED FOR ANY CHANGE OF USE, CONSTRUCTION, DEMOLITION, ADDITION, OR MATERIAL ALTERATION. THE CONTRACTOR MUST SECURE ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- SITE CONDITIONS & PROPERTY LINES:** VERIFY PROPERTY LINES, EASEMENTS, AND EXISTING STRUCTURES BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ACCURACY.
- CONSTRUCTION SAFETY:** MAINTAIN A SAFE WORKSITE BY ADHERING TO CITY OF TORONTO REGULATIONS. IMPLEMENT APPROPRIATE SAFETY MEASURES AND TEMPORARY ENCLOSURES AS REQUIRED.
- DUST CONTROL & ENVIRONMENTAL COMPLIANCE:** ENSURE DUST CONTROL MEASURES ARE IN PLACE, INCLUDING THE AVAILABILITY OF WATER ON-SITE AS REQUIRED BY LOCAL ORDINANCES.
- GRADING & DRAINAGE:** ENSURE PROPER DRAINAGE PER OBC REQUIREMENTS BY SLOPING FINISHED GRADE AWAY FROM THE BUILDING FOUNDATION.
- STRUCTURAL WORK:** NO STRUCTURAL MODIFICATIONS OR LOAD-BEARING ALTERATIONS ARE INCLUDED IN THIS SCOPE.
- GLAZING & WINDOWS:** ALL NEW GLAZING AND WINDOWS MUST COMPLY WITH THE LATEST ONTARIO BUILDING CODE (OBC) STANDARDS FOR ENERGY EFFICIENCY AND WEATHERPROOFING.
- FIRE SAFETY:** INSTALL SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS PER OBC AND OFC REQUIREMENTS.
- UTILITY COORDINATION:** PROTECT OR RELOCATE UTILITY SERVICES AS NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY APPROVALS.
- ELECTRICAL & HVAC COMPLIANCE:** ELECTRICAL WORK MUST CONFORM TO OESC. HVAC DUCTWORK MUST BE SIZED AND INSTALLED AS PER ONTARIO MECHANICAL CODE.
- FIRE-RATED & ACOUSTIC SEALING:** SEAL PENETRATIONS IN WALLS, CEILINGS, AND FLOORS TO MAINTAIN REQUIRED FIRE AND ACOUSTIC RATINGS PER OBC.
- ZONING & SETBACK COMPLIANCE:** ENSURE ALL WORK ADHERES TO LOCAL ZONING BYLAWS, INCLUDING REQUIRED SETBACKS AND HEIGHT RESTRICTIONS.
- EROSION CONTROL & STORMWATER MANAGEMENT:** IMPLEMENT EROSION CONTROL MEASURES TO PREVENT ENVIRONMENTAL CONTAMINATION, COMPLYING WITH LOCAL STORMWATER MANAGEMENT REGULATIONS.

## GENERAL REQUIREMENTS CHECKLIST

- STEEL WORK:**  
USE STEEL THAT COMPLIES WITH OBC STANDARDS AND STRUCTURAL DESIGN GUIDELINES.  
FOLLOW PLACEMENT AND LAP SPLICING REQUIREMENTS PER RECOGNIZED ENGINEERING STANDARDS.
- ANCHOR BOLTS:**  
ENSURE ANCHOR BOLTS CONFORM TO ASTM STANDARDS AND ARE INSTALLED ACCORDING TO STRUCTURAL ENGINEERING SPECIFICATIONS.
- CONSTRUCTION SITE REQUIREMENTS:**  
EROSION & SEDIMENT CONTROL: IMPLEMENT MEASURES TO PREVENT SEDIMENT RUNOFF IN COMPLIANCE WITH CITY OF TORONTO STORMWATER MANAGEMENT GUIDELINES.
- STOCKPILING:**  
SECURELY STORE CONSTRUCTION MATERIALS TO PREVENT DISPERSION OUTSIDE THE PROJECT SITE.
- HAZARDOUS MATERIALS HANDLING:**  
STORE FUELS, OILS, AND TOXIC SUBSTANCES PER MANUFACTURER GUIDELINES TO PREVENT CONTAMINATION. ADDRESS SPILLS PER ENVIRONMENTAL REGULATIONS.
- CONCRETE WASTE MANAGEMENT:**  
DESIGNATE CONCRETE WASHOUT AREAS AND DISPOSE OF WASTE ACCORDING TO CITY OF TORONTO ENVIRONMENTAL STANDARDS.
- WASTE & DEBRIS MANAGEMENT:**  
USE COVERED RECEPTACLES TO PREVENT CONSTRUCTION WASTE FROM DISPERSING DUE TO WIND OR RAIN.
- TRAFFIC CONTROL & SITE ACCESS:**  
UTILIZE STABILIZED ENTRANCES FOR CONSTRUCTION VEHICLES TO MINIMIZE DEBRIS TRACKING ONTO PUBLIC ROADS. PROMPTLY CLEAN ANY DEBRIS ON STREETS.
- SLOPE STABILIZATION:**  
IMPLEMENT GRADING AND STABILIZATION MEASURES TO PREVENT EROSION, ENSURING COMPLIANCE WITH OBC AND LOCAL GRADING BYLAWS.
- BUILDING & ZONING COMPLIANCE:**  
**ZONING COMPLIANCE:** ENSURE ADHERENCE TO CITY OF TORONTO ZONING BY-LAW 569-2013, INCLUDING REGULATIONS ON LOT COVERAGE, BUILDING HEIGHT, AND SETBACKS.  
**FIRE SEPARATION REQUIREMENTS:** COMPLY WITH OBC AND ONTARIO FIRE CODE STANDARDS FOR FIRE SEPARATIONS BETWEEN OCCUPANCIES.  
**ACCESSIBILITY FEATURES:** ENSURE ACCESSIBILITY COMPLIANCE WITH THE ACCESSIBILITY FOR ONTARIANS WITH DISABILITIES ACT (AODA) AND OBC REQUIREMENTS FOR PUBLIC-USE BUILDINGS.



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PROJECT FOR  
2010 QUEEN STREET EAST, ON  
RENOVATION FOR FIRST FLOOR OF  
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2025-03-17

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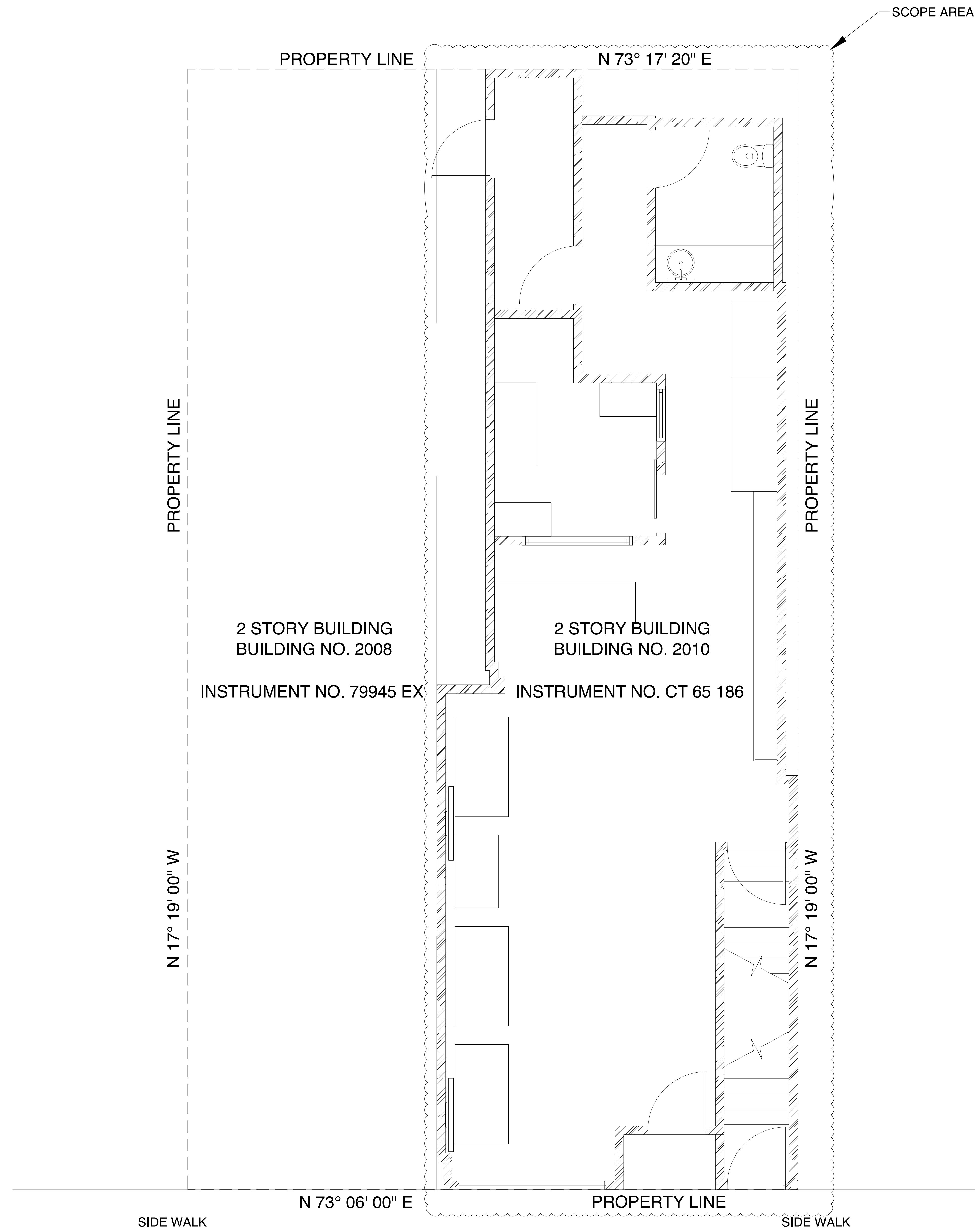
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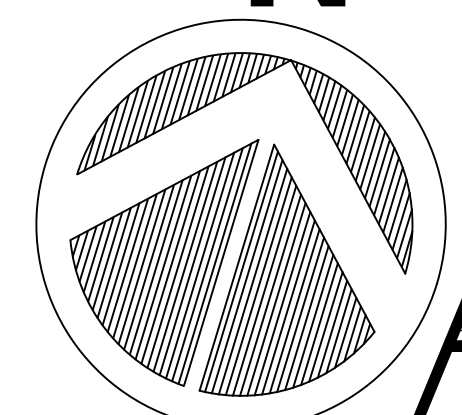
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QUEEN STREET EAST

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**SITE PLAN**

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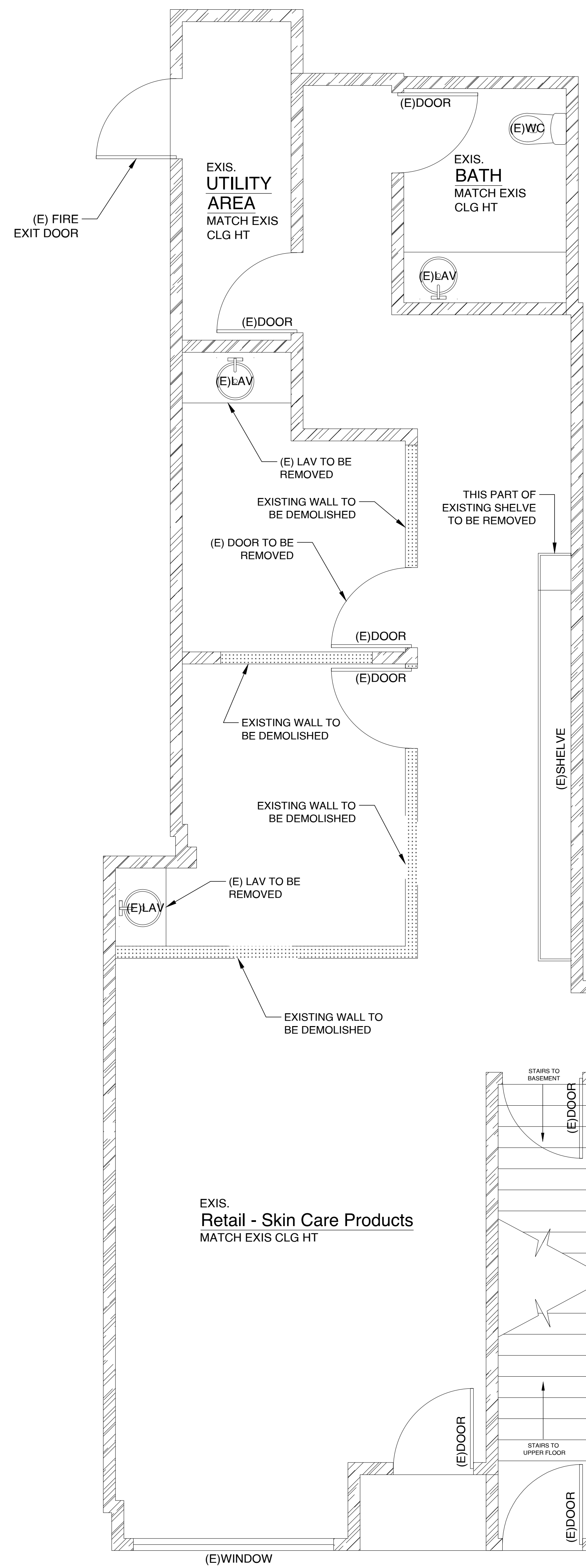
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**DEMOLITION PLAN NOTES**

1. FIELD VERIFICATION: THE CONTRACTOR MUST VERIFY ALL EXISTING SITE CONDITIONS BEFORE COMMENCING DEMOLITION OR CONSTRUCTION WORK. ANY DISCREPANCIES, STRUCTURAL CONCERNS, OR UNFORESEEN CONDITIONS MUST BE IMMEDIATELY REPORTED TO THE DESIGNER AND OWNER FOR REVIEW AND APPROVAL. A PRE-DEMOLITION SITE REVIEW MUST BE CONDUCTED BY THE CONTRACTOR, OWNER, AND DESIGNER BEFORE STARTING ANY DEMOLITION WORK.
2. DEMOLITION RESPONSIBILITY: THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, RELOCATION, AND DISPOSAL OF ALL MECHANICAL, ELECTRICAL, PLUMBING (MEP), AND MISCELLANEOUS EQUIPMENT AS REQUIRED FOR THE CONVERSION OF THE EXISTING NAIL SHOP INTO A PET SHOP. ALL DEMOLITION WORK MUST COMPLY WITH THE ONTARIO BUILDING CODE (OBC), ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT (OHS), AND CITY OF TORONTO MUNICIPAL CODES. REFER TO THE APPROVED DEMOLITION PLANS FOR SPECIFIC REMOVAL AND COORDINATION DETAILS.
3. TEMPORARY STRUCTURAL BRACING: THE CONTRACTOR MUST INSTALL TEMPORARY STRUCTURAL BRACING TO MAINTAIN THE INTEGRITY OF THE BUILDING DURING DEMOLITION AND CONSTRUCTION. ANY DAMAGE TO STRUCTURAL OR NON-STRUCTURAL COMPONENTS DURING DEMOLITION MUST BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS UNLESS OTHERWISE SPECIFIED IN THE DESIGN DOCUMENTS. ALL STRUCTURAL MODIFICATIONS MUST COMPLY WITH THE ONTARIO BUILDING CODE (OBC).
4. UTILITY COORDINATION: THE CONTRACTOR MUST COORDINATE WITH UTILITY COMPANIES AND THE OWNER TO ENSURE PROPER DISCONNECTION, CAPPING, AND RELOCATION OF ALL ELECTRICAL, PLUMBING, HVAC, AND COMMUNICATION UTILITIES BEFORE DEMOLITION BEGINS. ANY WALL-MOUNTED, CEILING-MOUNTED, OR FLOOR-MOUNTED EQUIPMENT REQUIRING REMOVAL OR RELOCATION MUST BE PROPERLY SALVAGED AND REINSTALLED AS PER PROJECT REQUIREMENTS. UTILITY SHUTDOWNS MUST BE SCHEDULED IN ADVANCE TO MINIMIZE DISRUPTIONS TO SURROUNDING BUSINESSES AND OCCUPANTS.
5. STORAGE FOR OWNER-RETAINED ITEMS: THE CONTRACTOR MUST PROVIDE SECURE, DRY STORAGE FOR ALL OWNER-RETAINED MATERIALS, FURNITURE, FIXTURES, AND EQUIPMENT (FF&E) IN AN AREA DESIGNATED BY THE OWNER. ITEMS TO BE REUSED OR RELOCATED MUST BE HANDLED CAREFULLY, LABELED, AND PROTECTED TO PREVENT DAMAGE OR LOSS.
6. SITE CLEANLINESS AND DEBRIS REMOVAL: THE CONTRACTOR MUST REMOVE ALL DEMOLITION DEBRIS, TRASH, AND WASTE MATERIALS DAILY TO MAINTAIN A CLEAN AND SAFE WORKSITE. ALL OCCUPIED AREAS ADJACENT TO THE CONSTRUCTION SITE MUST BE PROTECTED FROM DUST, DEBRIS, AND CONSTRUCTION-RELATED HAZARDS. THE CONTRACTOR MUST COMPLY WITH THE CITY OF TORONTO WASTE MANAGEMENT BY-LAWS AND ENVIRONMENTAL PROTECTION ACT (EPA) REGULATIONS FOR PROPER HANDLING OF HAZARDOUS MATERIALS, DUST CONTROL, AND DEBRIS REMOVAL. TEMPORARY BARRIERS AND SIGNAGE MUST BE INSTALLED TO MAINTAIN A SAFE ENVIRONMENT FOR BOTH CONSTRUCTION PERSONNEL AND BUILDING OCCUPANTS.
7. GENERAL NOTES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY SITE CONDITIONS, OBTAIN ALL NECESSARY PERMITS, AND ENSURE FULL COMPLIANCE WITH THE ONTARIO BUILDING CODE (OBC), CITY OF TORONTO REGULATIONS, AND ALL APPLICABLE SAFETY STANDARDS. THE CONTRACTOR MUST CONSULT WITH LOCAL AUTHORITIES TO CONFIRM THE MOST CURRENT CODE EDITIONS AND ANY ADDITIONAL REQUIREMENTS SPECIFIC TO THE CONVERSION OF THE NAIL SHOP INTO A PET SHOP AT 2010 QUEEN STREET EAST, TORONTO, ON.



**DEMO/EXISTING FLOOR PLAN**  
SCALE - 1:800

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PROJECT FOR  
**2010 QUEEN STREET EAST, ON**  
RENOVATION FOR FIRST FLOOR OF  
COMMERCIAL BUILDING

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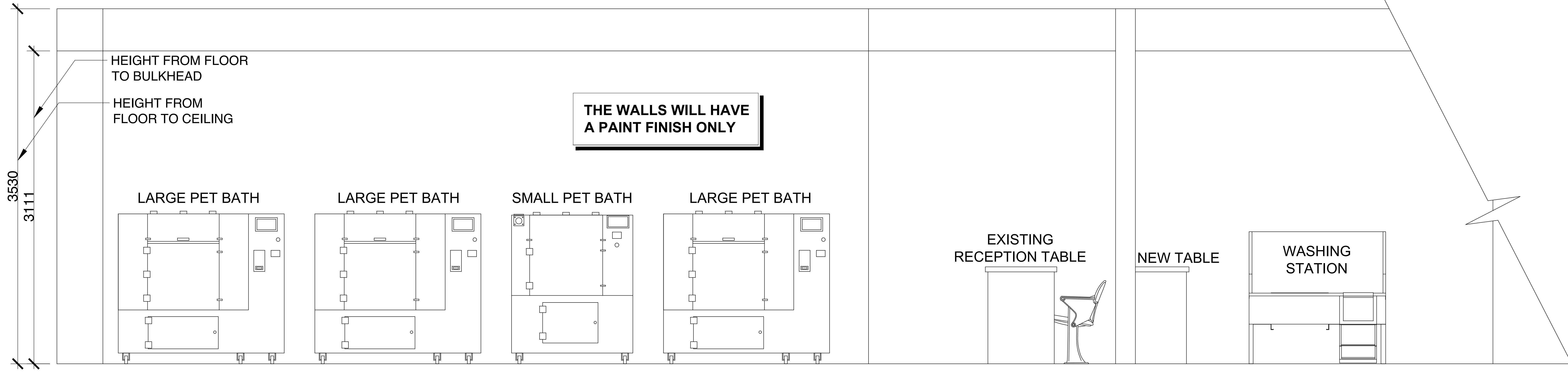
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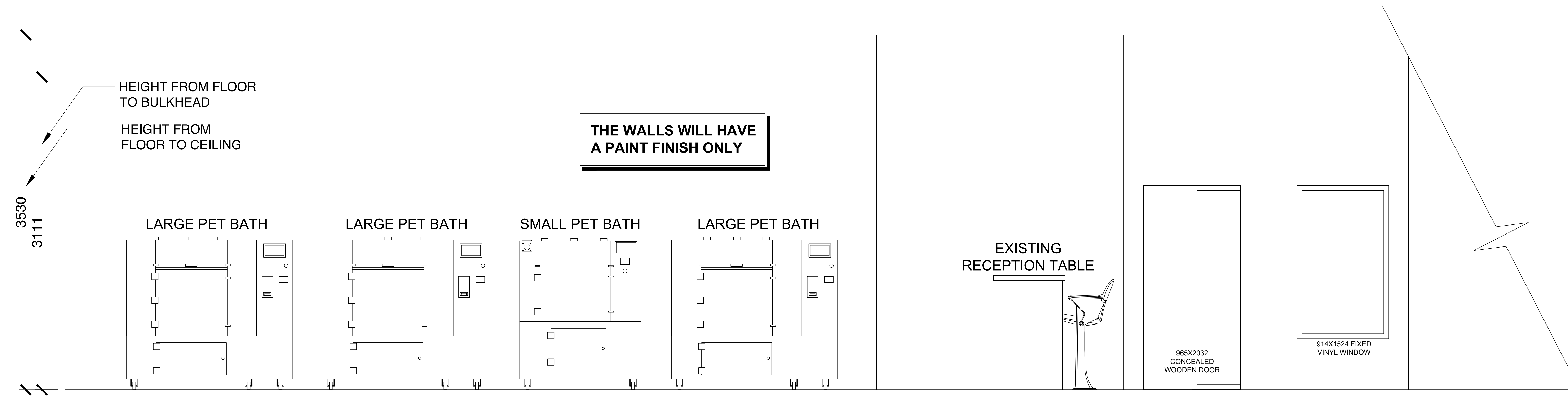
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*PROPOSED*  
**1 / INTERIOR ELEVATION**  
*SCALE - 1:400*



*PROPOSED*  
**2 / INTERIOR ELEVATION**  
*SCALE - 1:400*

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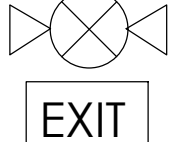
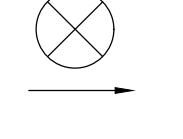
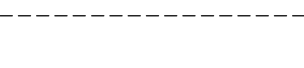
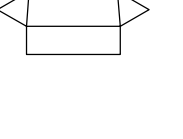
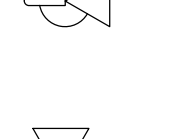
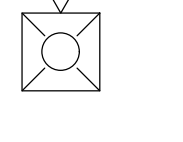
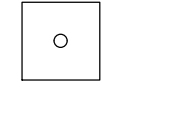
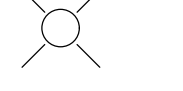
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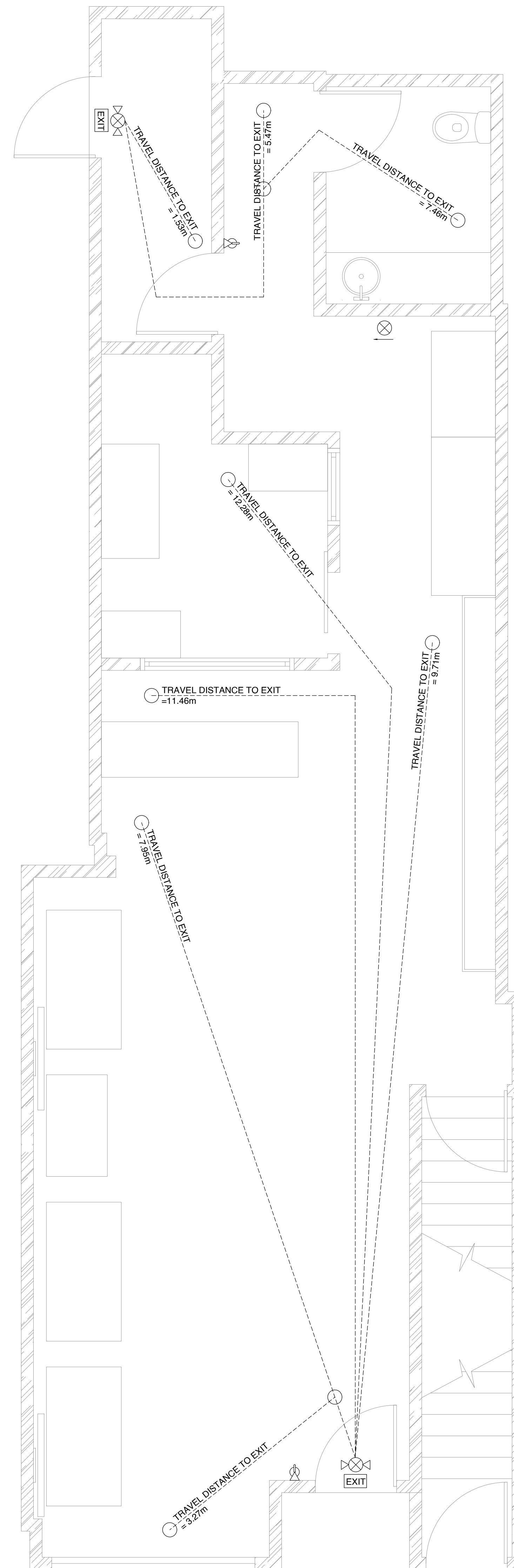
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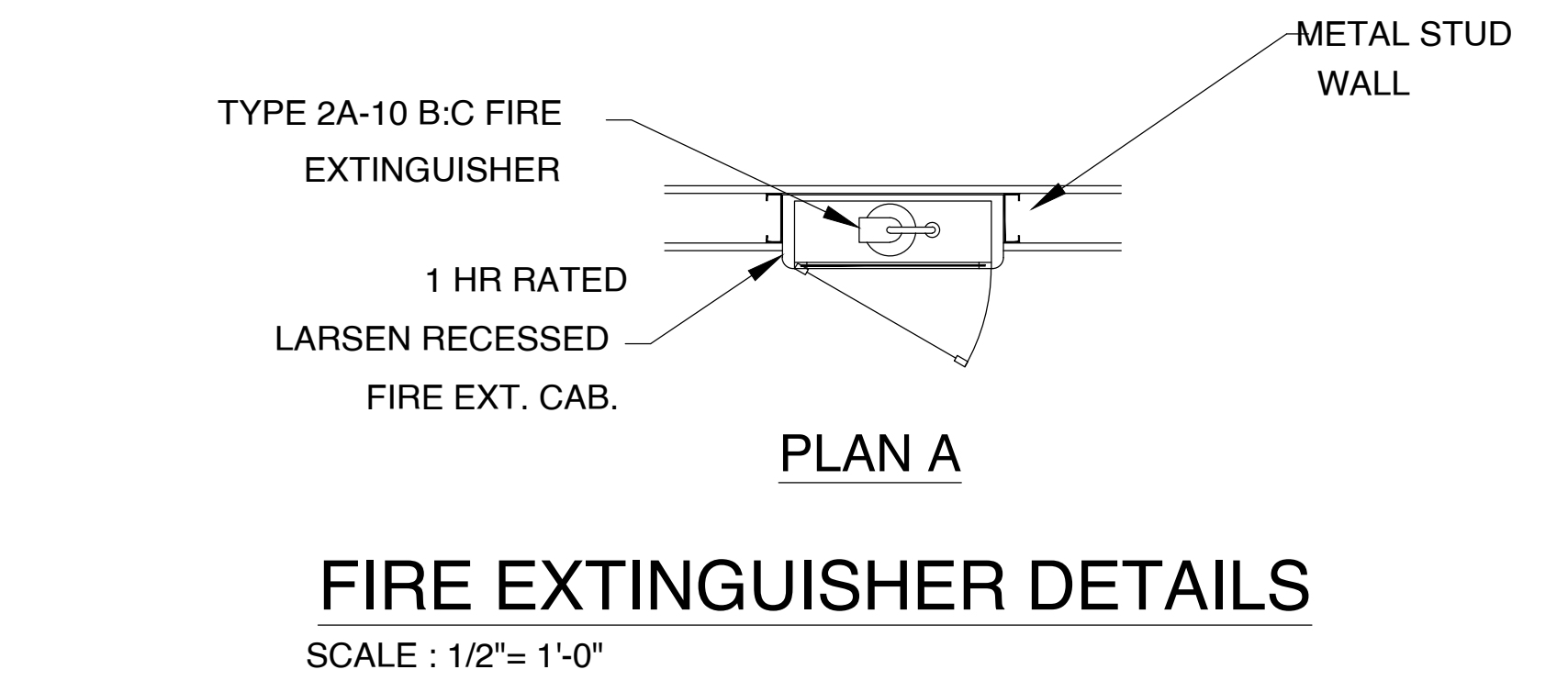
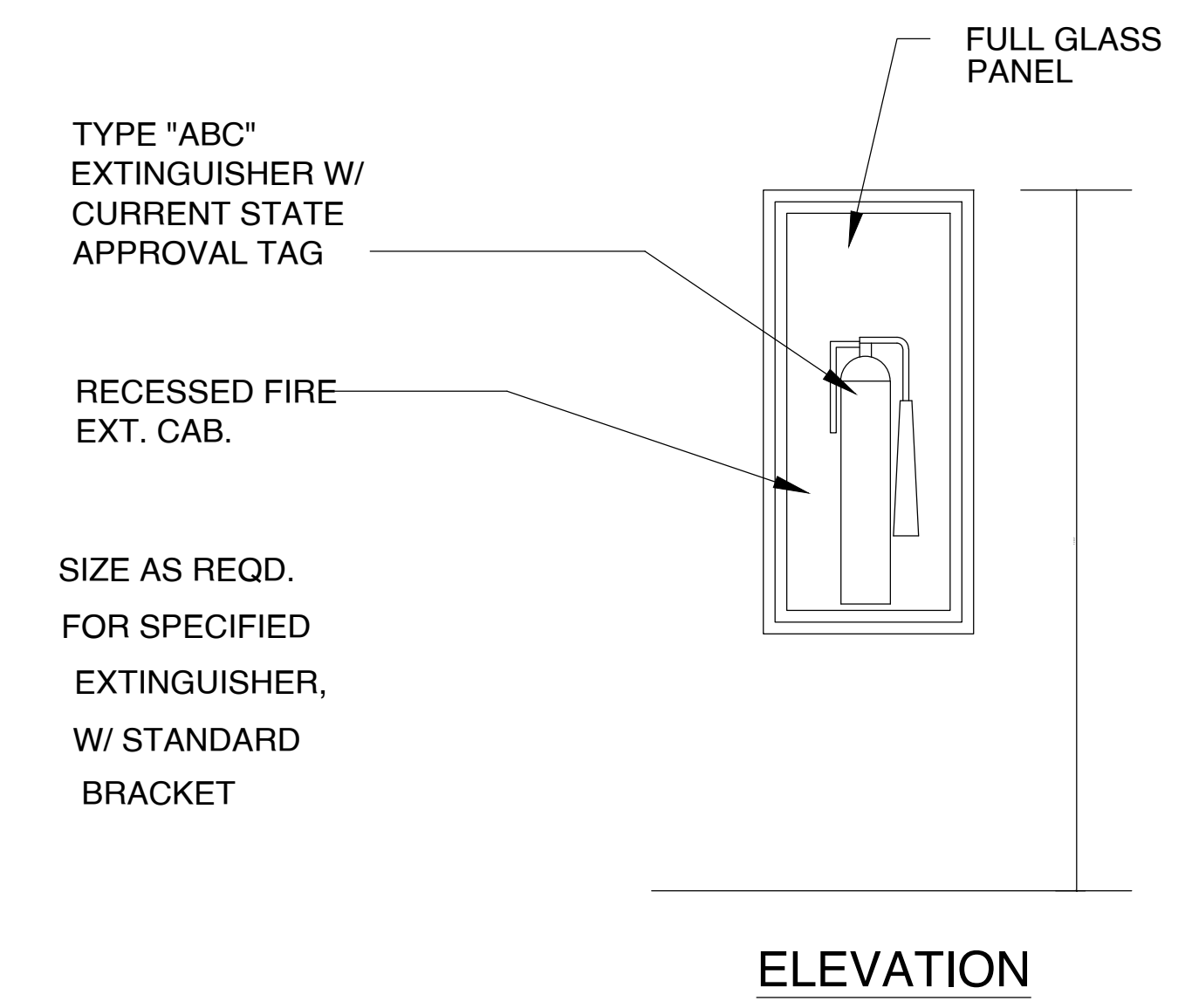
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**LIFESAFETY LEGEND**

-  EXIT SIGN W/ BATTERY BACK UP
-  DIRECTIONAL EXIT SIGN
-  PATH OF TRAVEL
-  EMERGENCY LIGHT UNIT W/ BATTERY BACK UP
-  FIRE EXTINGUISHER
-  HORN/STROBE
-  PULL STATION
-  STROBE



**PROPOSED  
LIFE SAFETY PLAN**  
SCALE - 1:800



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PROJECT FOR  
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RENOVATION FOR FIRST FLOOR OF  
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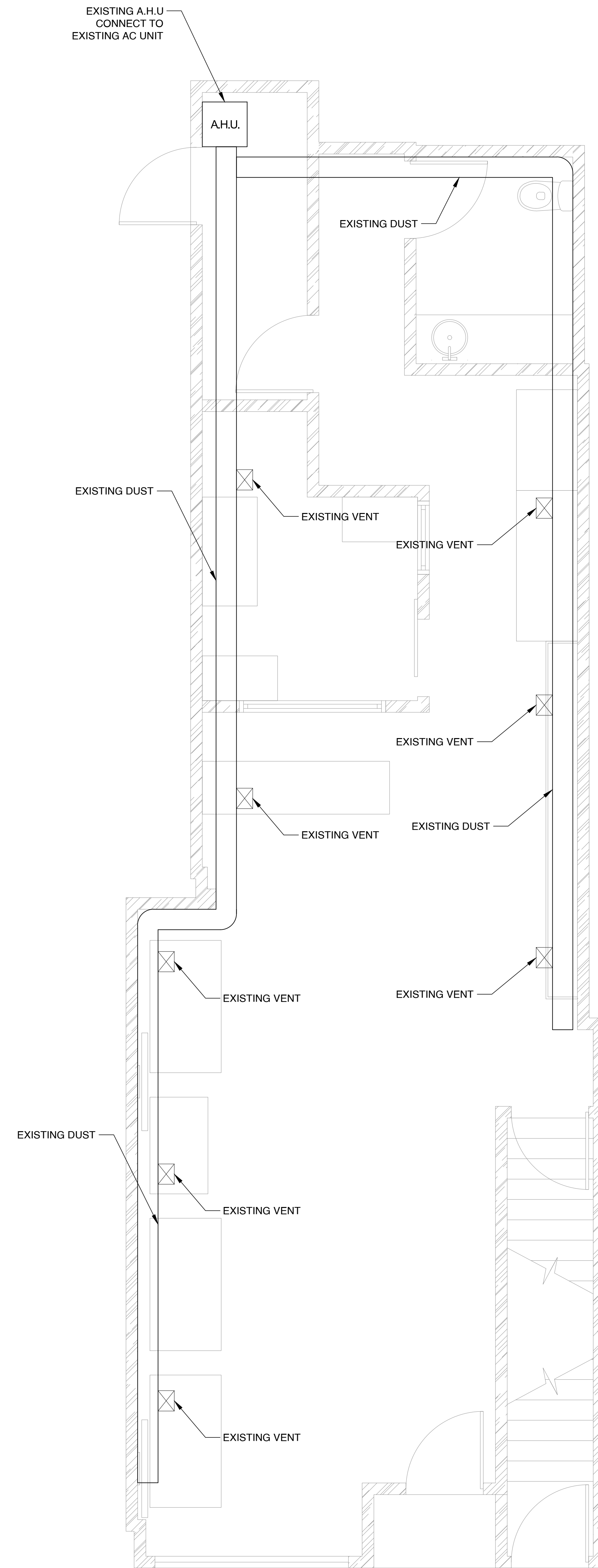
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**EXISTING  
HVAC PLAN**  
SCALE - 1:800

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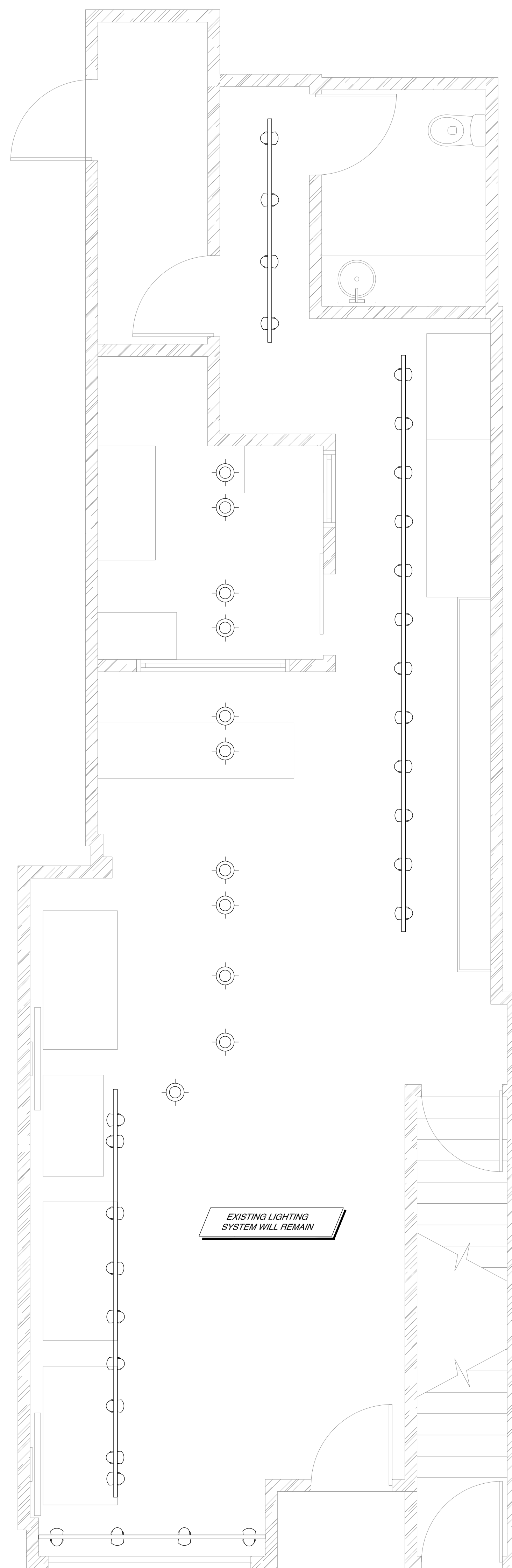
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**ELECTRICAL NOTES**

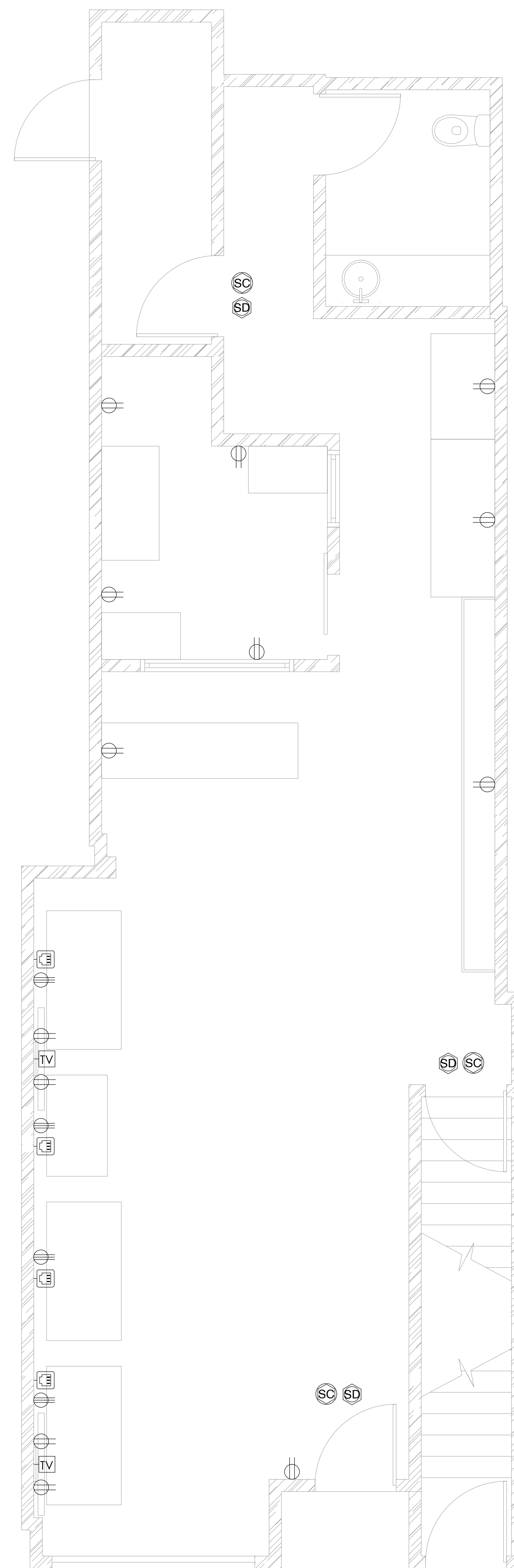
1. CONTR./HOME OWNER TO HAVE FINAL APPR. ON ALL FINISHED FIXTURES
2. ALL ELECTRICAL TO MEET 2017 N.E.C. REQ.
3. CONNECT ALL NEW ELEC TO EXIS CONFORMING SINGLE PHASE SERVICE
4. PROVIDE ALL COPPER WIRING.
5. CONTRACTOR TO CONNECT ALL FIXTURES & APPLIANCES.
6. CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK.
7. 50% (MIN) OF ALL FIXTURES TO USE ENERGY EFFICIENT BULBS.
8. PROVIDE #6 REBAR ELECTRICAL GROUND TO FOUND STEEL (CONFIRM EXIS)
9. ALL LIGHT SW AT 30" A.F.F. (MIN)
10. CONTR./OWNR. TO COORD. ADDL EQUIP I.E. SEC. SYS., STEREO, COMPUTER & INTERCOM.
11. CONTROL TO PROVIDE ARCH FAULT @ ALL BEDRMS.
12. ALL OUTLETS OTHER THAN GFCI (NOTED) ARE TO BE ARCH FAULT INTERRUPTED (AFCI) PER NEC

**SMOKE ALARMS**

1. WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHERE ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQ
2. SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER
4. SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE
5. COMBINATION OF SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS
6. SMOKE ALARMS SHAL RECIEVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND WHERE PRIMARY POWER IS INTERRUPTED SHALL RECIEVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISSCONNECTING SWITCH OTHER THAN THOSE REQ FOR OVERCCURENT PROTECTION



**EXISTING LIGHTING PLAN**  
SCALE - 1:800



**PROPOSED POWER PLAN**  
SCALE - 1:800

**ELECTRICAL KEY:**

	DUPLEX OUTLET
	220V DUPLEX OUTLET
	CEILING LIGHT
	TRACK LIGHT
	ETHERNET JACK
	CABLE T.V. JACK
	SMOKE DETECTOR
	SMOKE/CARBON DETECTOR (DIRECT WIRE W/ BATT)

STAMP

PROJECT FOR  
**2010 QUEEN STREET EAST, ON**  
RENOVATION FOR FIRST FLOOR OF  
COMMERCIAL BUILDING

DRAWING NO.:

DATE:

2025-03-17

DRAWN BY:

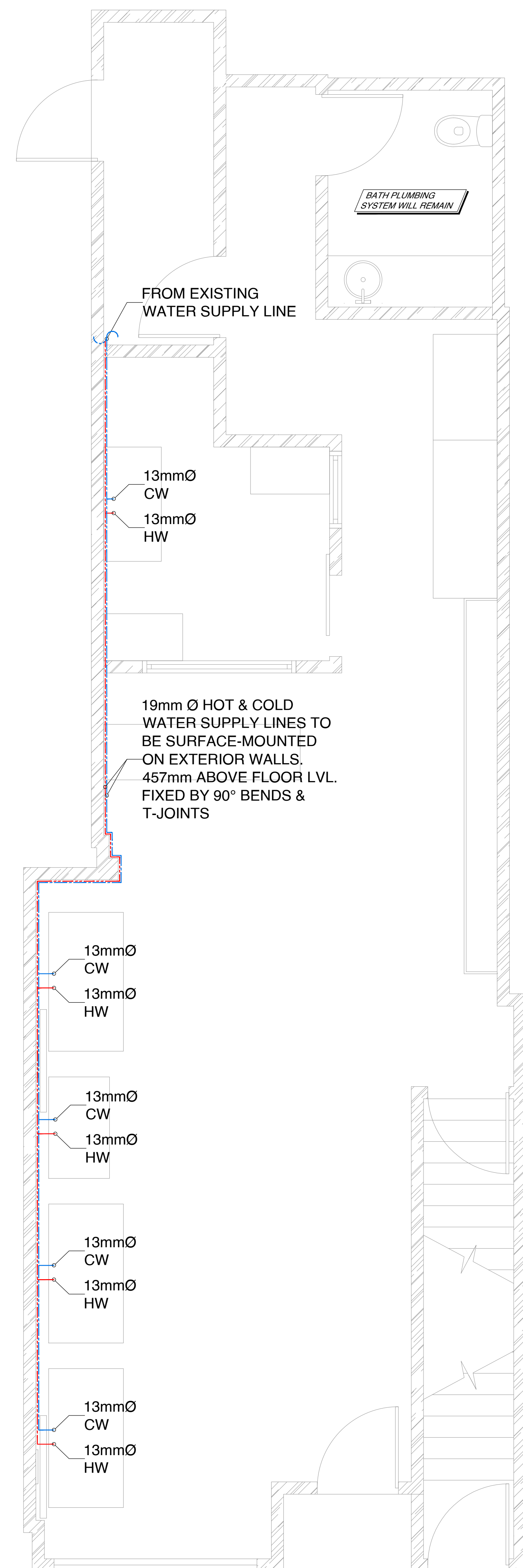
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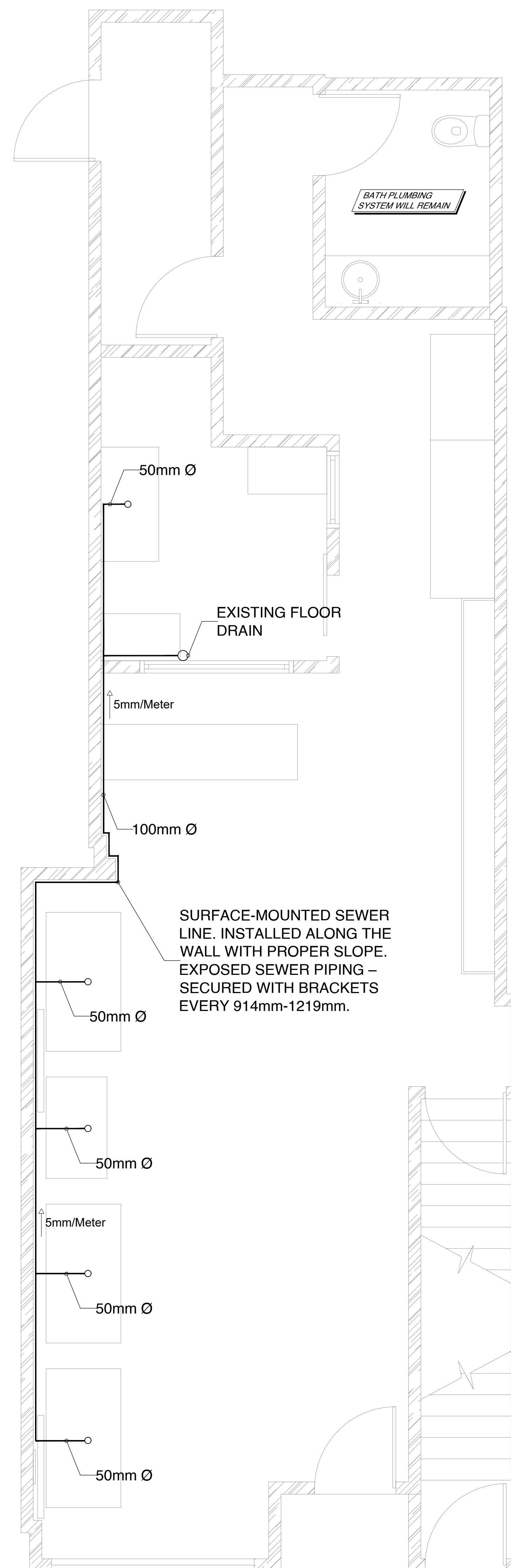
REVISION

SHEET:

**E1.0**



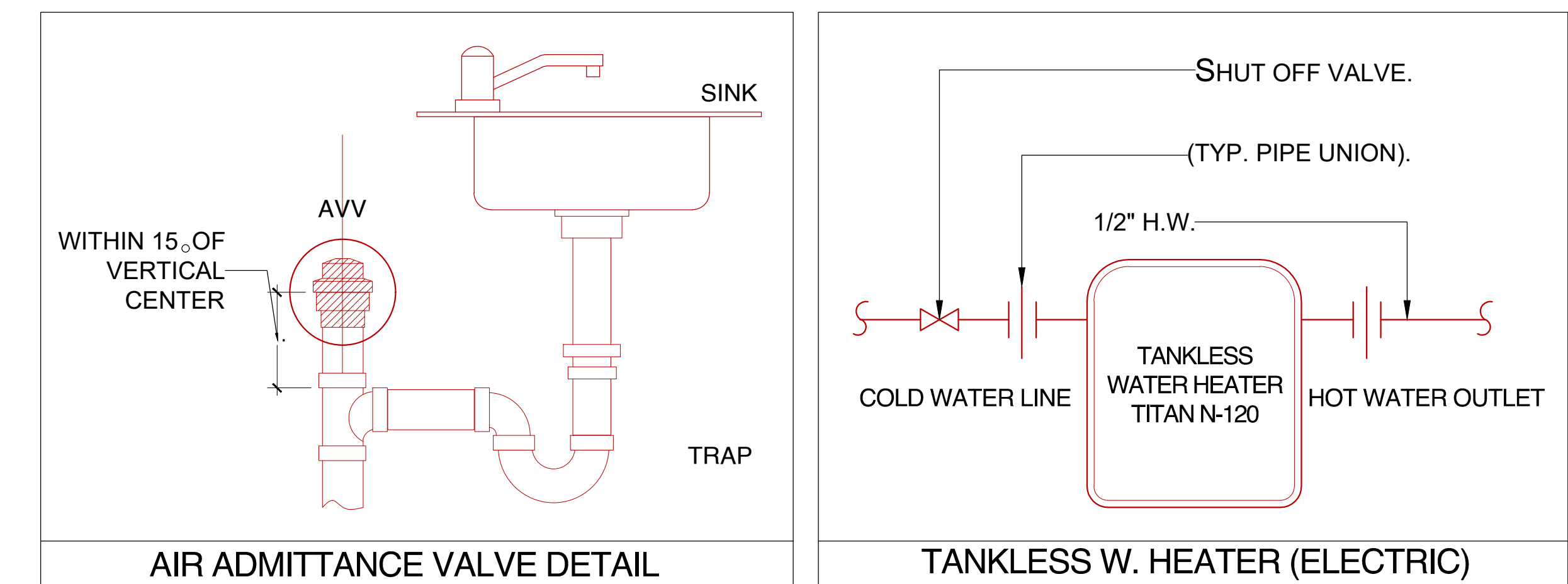
**PROPOSED  
WATER SUPPLY PLAN**  
SCALE - 1:800



**PROPOSED  
SEWER PLAN**  
SCALE - 1:800

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	COLD WATER (C.W.) LINE.
	HOT WATER (H.W.) LINE.
	SANITARY SEWER LINE.
	GATE VALVE.
	FLOOR CLEAN-OUT.
	CLEAN-OUT TO GRADE.
<b>CW</b>	COLD WATER.
<b>HW</b>	HOT WATER.
<b>VTR</b>	VENT THRU ROOF.
<b>VTW</b>	VENT THRU WALL.

**PLUMBING NOTE**  
1- ALL SANITARY LINES SHALL BE SLOPED AS FOLLOWS:  
2" OR SMALLER SHALL BE SLOPED AT 1/4" PER FT.  
3" OR LARGER SHALL BE SLOPED AT 1/8" PER FT.



PLUMBING FIXTURE CONNECTION SCHEDULE						
MARK	DESCRIPTION	WASTE	VENT	C.W.	H.W.	REMARKS / SPECS
WC	WATER CLOSET.	3"	2"	3/4"	--	FLOOR MOUNTED, TANK TYPE, 1.28 GPF.
LAV	LAVATORY.	2"	2"	1/2"	--	COUNTER TOP, 1.5 GPM.
SW	SHOWER.	2"	2"	1/2"	1/2"	ANTI-SCALDING VALVE, 1.5 GPM HEAD
DW	DISHWASHER.	3/4"	--	1/2"	1/2"	1-1/2" INDIRECT WASTE LINE.
2CSK	TWO COMPARTMENT SINK.	2"	2"	1/2"	1/2"	WALL MTD, 1.5 GPM.
JSK	JANITOR SINK.	2"	2"	1/2"	1/2"	STAINLESS STEEL SINK FLOOR MTD, WITH HOSE AND YOKE, 1.5 GPM.
R	REFRIGERATOR.	--	--	1/2"	--	WALL MOUNTED BOX WITH VALVE AND FLEX CONNECTION.
WM	WASHER MACHINE.	3"	2"	1/2"	1/2"	WALL MTD, RECESSED BOX WITH 2" TRAP, VALVED WATER CONNECTION.
HB	HOSE BIBB.	--	--	3/4"	--	VACUUM BREAKER

STAMP

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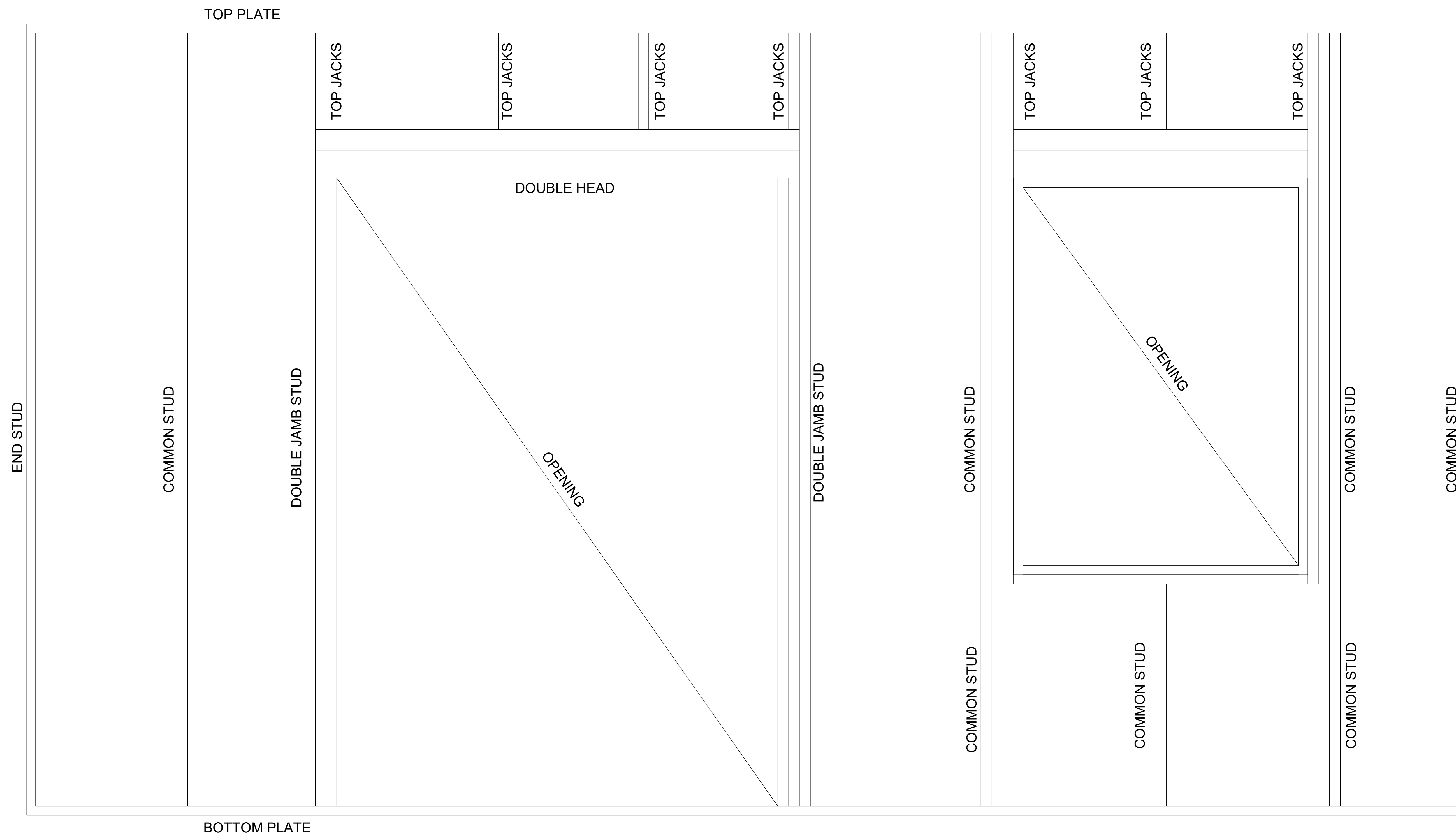
DATE:  
2025-03-17

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NO.	REVISION

SHEET:

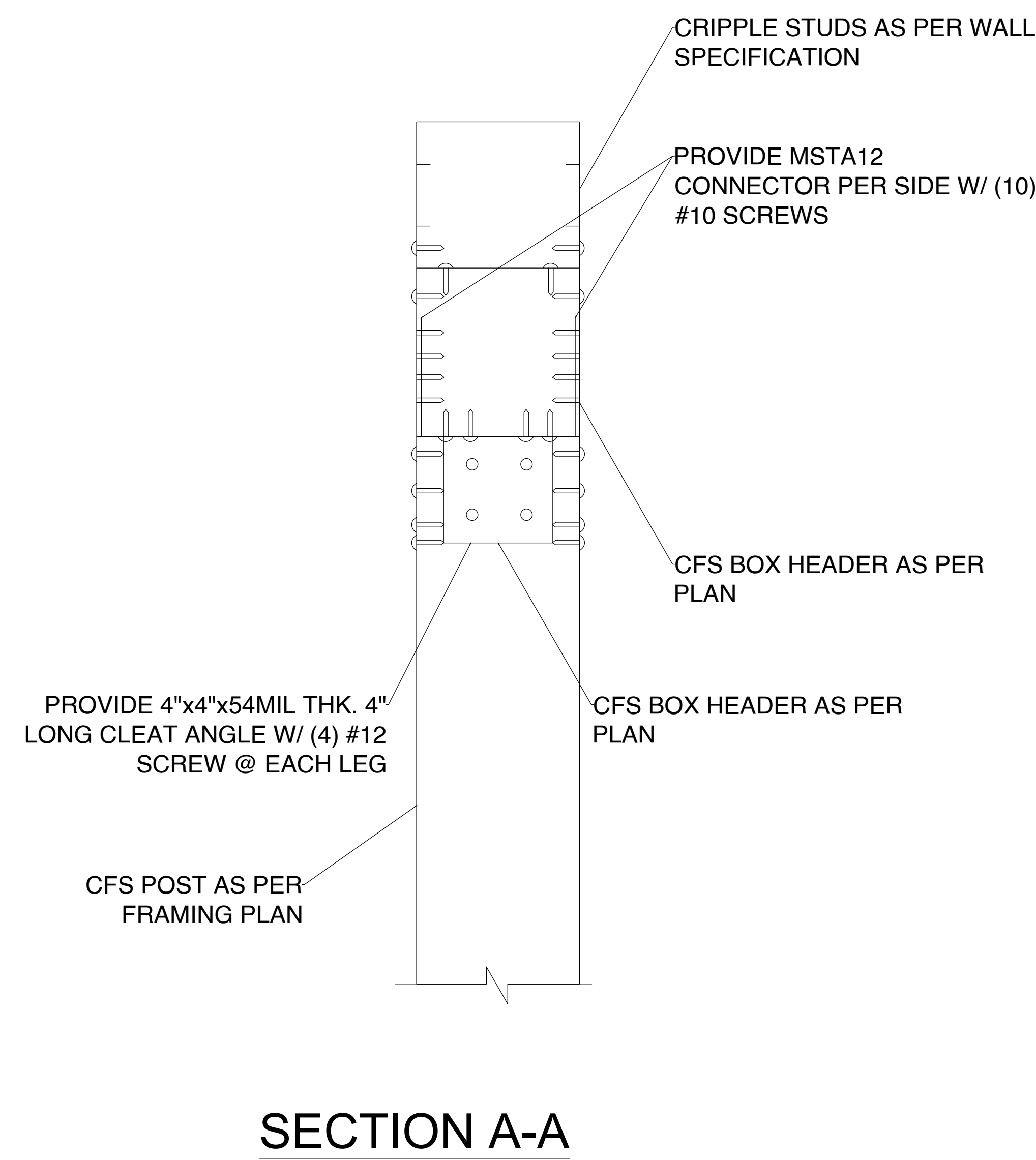
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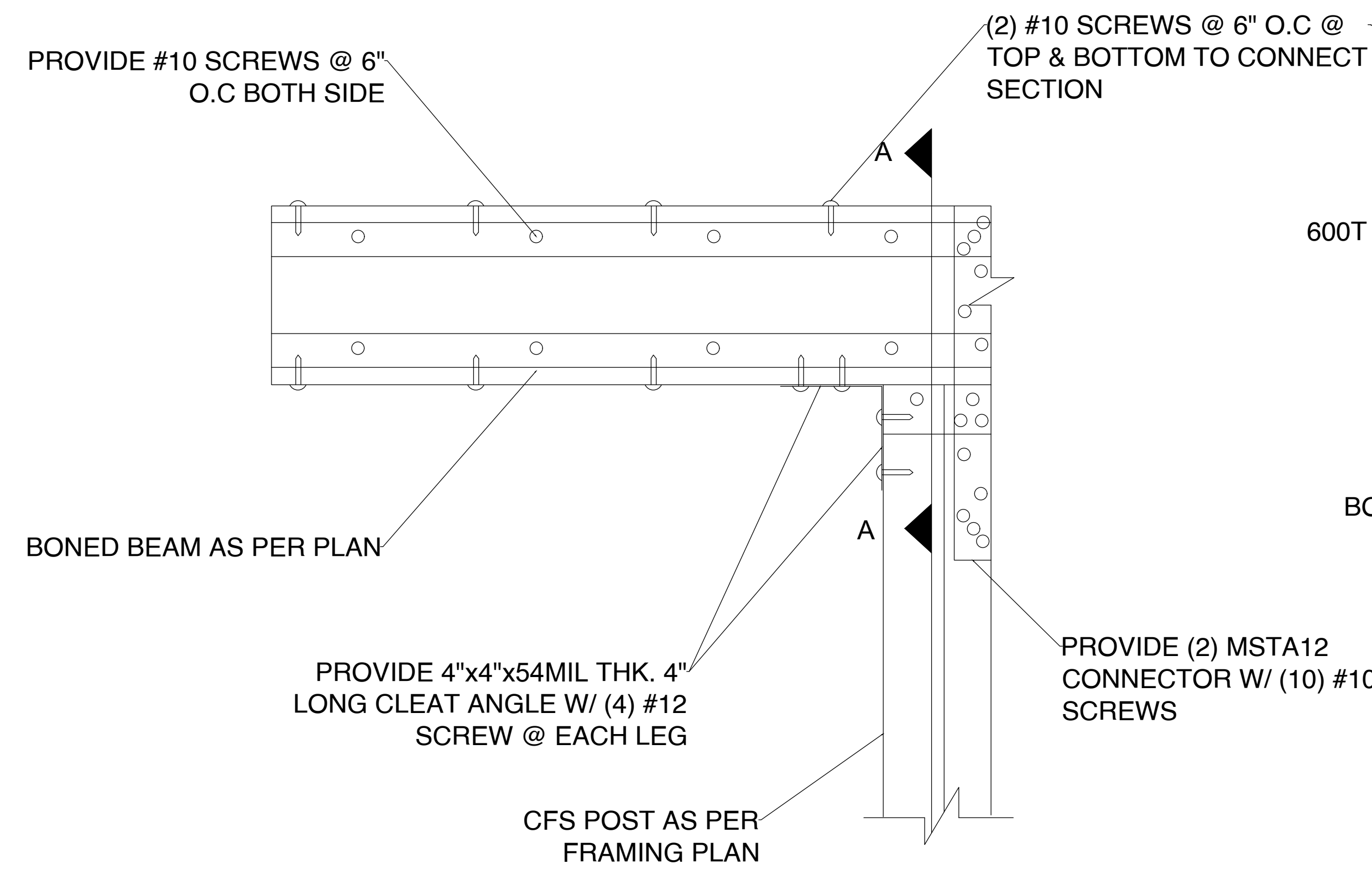
**NOTE:**

1. FOR STUD THK UPTO 43mil USE MIN. #10 SCREWS FOR CONNECTION
2. FOR STUD THK UPTO 54mil USE MIN. #12 SCREWS FOR CONNECTION
3. FOR STUD THK UPTO 118mil USE MIN. #14 SCREWS FOR CONNECTION

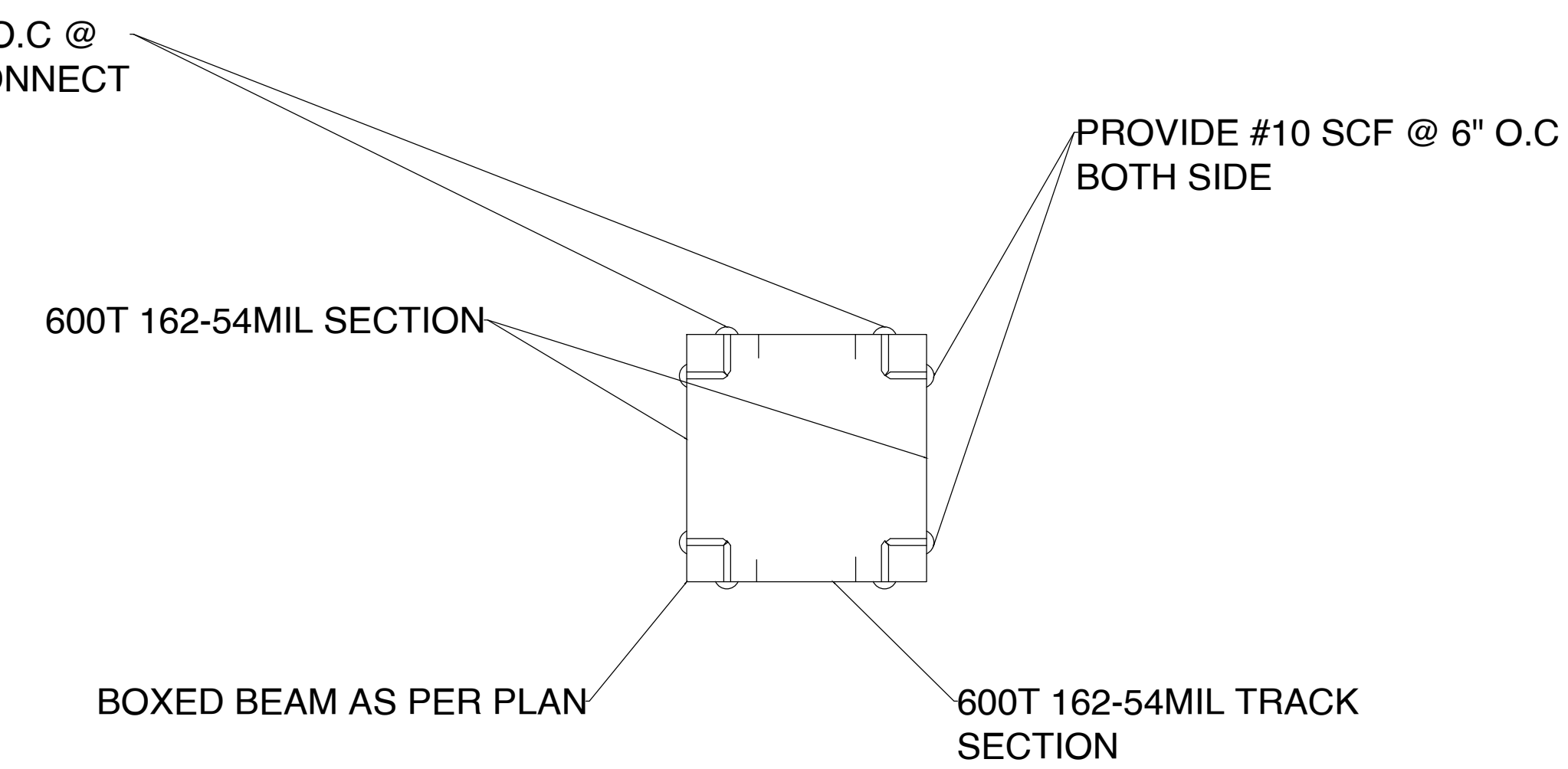
**OPENING IN EXISTING INTERIOR WALL**



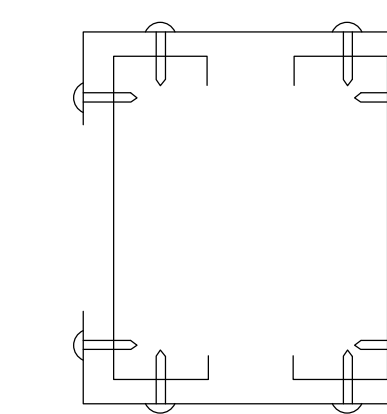
**SECTION A-A**



**ELEVATION**



**CROSS SECTION OF HEADER**



**SECTION ARRANGEMENT**

**TYP. CFS BOXED HEADER TO CFS POST DETAIL**

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