

GENERAL NOTES

- 1. REVIEW OF DOCUMENTS**
PRIOR TO COMMENCING ANY WORK, THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DRAWINGS, SPECIFICATIONS, AND EXISTING SITE CONDITIONS. ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS SHALL BE REPORTED TO THE OWNER AND DESIGNER FOR CLARIFICATION BEFORE PROCEEDING.
- 2. PERMITTING REQUIREMENTS**
ALL REQUIRED PERMITS AND APPROVALS SHALL BE OBTAINED FROM THE AUTHORITY HAVING JURISDICTION (AHJ) PRIOR TO THE START OF CONSTRUCTION. WORK SHALL NOT BEGIN UNTIL PERMITS ARE ISSUED.
- 3. APPLICABLE CODES**
ALL WORK SHALL COMPLY WITH THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE (PA UCC) AND THE FOLLOWING ADOPTED CODES:
2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2018 INTERNATIONAL FIRE CODE (IFC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2017 NATIONAL ELECTRICAL CODE (NEC)
LOCAL TOWNSHIP AND COUNTY ORDINANCES
- 4. PROJECT SCOPE**
THIS PROJECT CONSISTS OF THE INTERIOR REMODELING AND RENOVATION OF AN EXISTING COMMERCIAL SUITE WITHIN AN EXISTING BUILDING. WORK INCLUDES NEW INTERIOR PARTITIONS, ARCHITECTURAL FINISHES, AND MEP SYSTEM MODIFICATIONS. NO NEW BUILDING FOOTPRINT, STRUCTURAL ADDITIONS, OR FOUNDATION WORK IS INCLUDED.
- 5. EXISTING BUILDING CONDITIONS**
CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, UTILITIES, AND CONDITIONS PRIOR TO CONSTRUCTION. ANY CONFLICTS BETWEEN DRAWINGS AND EXISTING CONDITIONS SHALL BE REPORTED BEFORE WORK PROCEEDS.
- 6. STRUCTURAL WORK**
MINOR STRUCTURAL MODIFICATIONS, IF REQUIRED, SHALL COMPLY WITH APPROVED STRUCTURAL DRAWINGS AND IBC/IEBC REQUIREMENTS. TEMPORARY SHORING SHALL BE PROVIDED WHERE NECESSARY DURING DEMOLITION AND CONSTRUCTION.
- 7. DEMOLITION WORK**
ALL DEMOLITION SHALL BE LIMITED TO AREAS INDICATED ON DRAWINGS. CONTRACTOR SHALL PROTECT EXISTING STRUCTURE, SYSTEMS, AND ADJACENT TENANT SPACES FROM DAMAGE, DUST, VIBRATION, AND NOISE.
- 8. FIRE & LIFE SAFETY COMPLIANCE**
RENOVATION WORK SHALL COMPLY WITH IEBC ALTERATION REQUIREMENTS AND MAINTAIN ALL EXISTING FIRE-RESISTANCE-RATED ASSEMBLIES, EXITS, AND LIFE-SAFETY SYSTEMS UNLESS OTHERWISE NOTED.
- 9. FIRE-RATED CONSTRUCTION**
ALL PENETRATIONS THROUGH FIRE-RATED WALLS, CEILINGS, AND FLOORS SHALL BE SEALED USING APPROVED FIRE-STOPPING SYSTEMS TO MAINTAIN REQUIRED FIRE RATINGS PER IBC AND IFC.
- 10. MECHANICAL & VENTILATION**
ALL MECHANICAL WORK SHALL COMPLY WITH IMC AND IECC. EXISTING HVAC SYSTEMS SHALL BE MODIFIED AS REQUIRED TO SERVE RENOVATED SPACES AND MAINTAIN PROPER VENTILATION.
- 11. PLUMBING SYSTEMS**
ALL PLUMBING INSTALLATIONS AND FIXTURE MODIFICATIONS SHALL COMPLY WITH IPC. EXISTING PLUMBING SYSTEMS SHALL REMAIN OPERATIONAL UNLESS NOTED OTHERWISE.
- 12. ELECTRICAL SYSTEMS**
ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2017 NEC. ELECTRICAL WORK SHALL INCLUDE NEW CIRCUITS, LIGHTING, DEVICES, AND MODIFICATIONS TO SERVE RENOVATED AREAS.
- 13. ENERGY COMPLIANCE**
RENOVATED SPACES SHALL COMPLY WITH THE 2018 IECC FOR LIGHTING, HVAC EFFICIENCY, AND BUILDING ENVELOPE MODIFICATIONS WHERE APPLICABLE.
- 14. ACCESSIBILITY REQUIREMENTS (ADA)**
ALL ALTERATIONS SHALL COMPLY WITH IBC CHAPTER 11 AND ICC A117.1 ACCESSIBILITY STANDARDS. RENOVATED SPACES SHALL MAINTAIN OR IMPROVE ACCESSIBILITY COMPLIANCE.
- 15. BUILDING ENVELOPE**
NO EXTERIOR ENVELOPE MODIFICATIONS ARE INCLUDED UNLESS SPECIFICALLY NOTED. ANY PENETRATIONS REQUIRED FOR MEP SYSTEMS SHALL BE PROPERLY SEALED AND WEATHERPROOFED.
- 16. INTERIOR FINISHES**
ALL INTERIOR FINISHES SHALL COMPLY WITH IBC CHAPTER 8 FLAME SPREAD AND SMOKE DEVELOPMENT REQUIREMENTS FOR COMMERCIAL OCCUPANCIES.
- 17. CEILING & ABOVE-CEILING WORK**
CONTRACTOR SHALL COORDINATE ALL ABOVE-CEILING WORK INCLUDING DUCTWORK, PIPING, CONDUITS, AND FIRE-PROTECTION SYSTEMS PRIOR TO INSTALLATION OF CEILINGS.
- 18. UTILITY COORDINATION**
CONTRACTOR SHALL COORDINATE WITH BUILDING MANAGEMENT AND UTILITY PROVIDERS FOR SHUTDOWNS, TIE-INS, AND SYSTEM MODIFICATIONS.
- 19. CONSTRUCTION SAFETY**
CONTRACTOR SHALL MAINTAIN A SAFE JOB SITE AND COMPLY WITH OSHA SAFETY REGULATIONS AND BUILDING MANAGEMENT REQUIREMENTS.
- 20. INSPECTIONS**
ALL WORK SHALL BE SUBJECT TO INSPECTIONS BY THE AUTHORITY HAVING JURISDICTION, INCLUDING BUILDING, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE INSPECTIONS PRIOR TO FINAL APPROVAL.

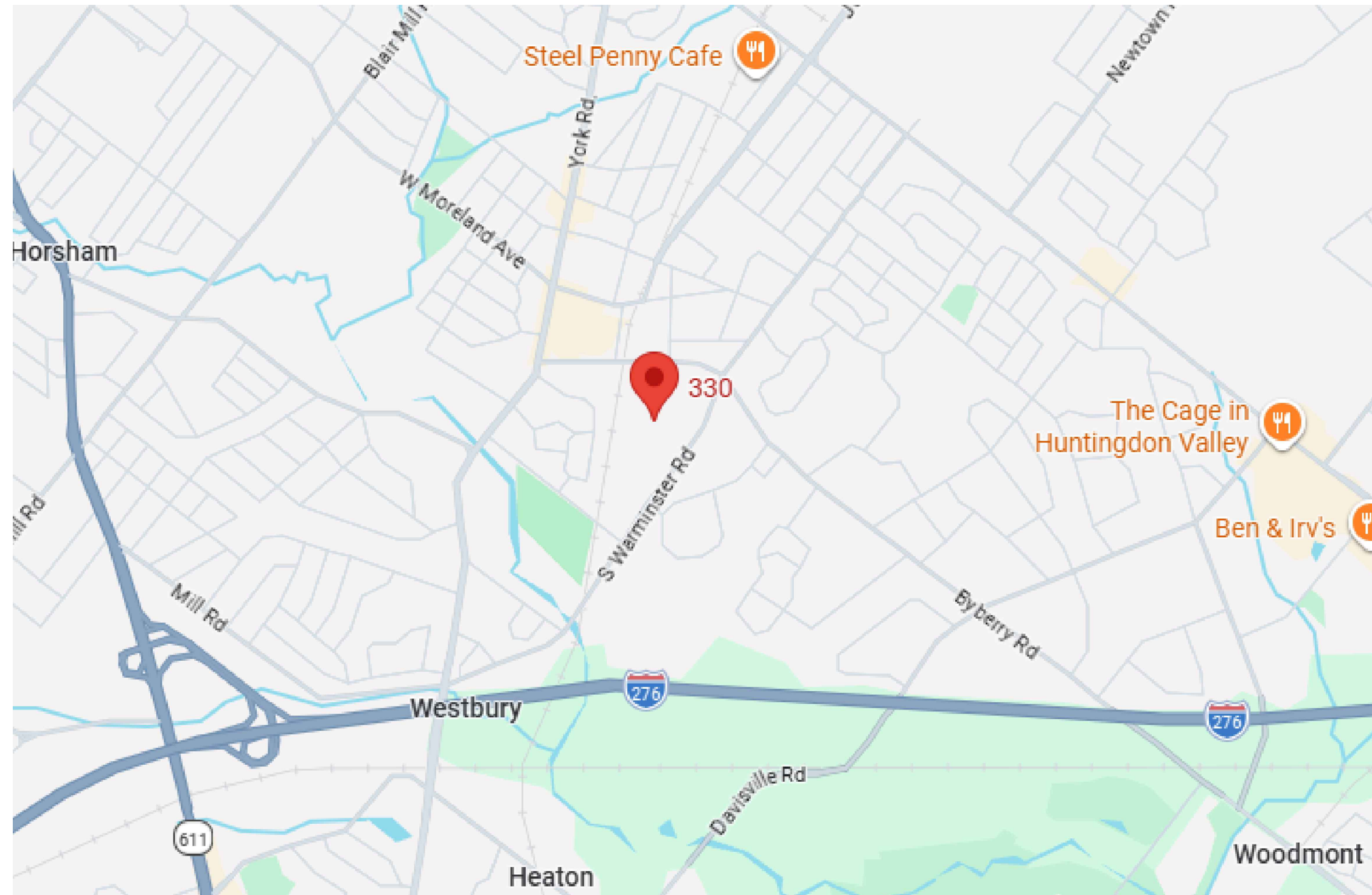
RESIDENTIAL REQUIREMENTS CHECKLIST

- 1. EXISTING STRUCTURE**
* THIS PROJECT IS AN INTERIOR RENOVATION WITHIN AN EXISTING BUILDING.
* NO NEW FOUNDATIONS OR EXTERIOR STRUCTURAL CONSTRUCTION ARE INCLUDED.
* ANY STRUCTURAL MODIFICATIONS SHALL BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER AND COMPLY WITH THE 2018 IEBC & IBC.
- 2. INTERIOR PARTITIONS & FRAMING**
* NEW INTERIOR PARTITIONS SHALL BE NON-LOAD-BEARING UNLESS NOTED OTHERWISE.
* FRAMING SHALL COMPLY WITH IBC CHAPTER 23 AND APPROVED CONSTRUCTION DOCUMENTS.
* FIRE-RATED ASSEMBLIES SHALL BE PROVIDED WHERE REQUIRED BY OCCUPANCY SEPARATION AND CORRIDOR REQUIREMENTS.
- 3. FIRE-RESISTANCE & LIFE SAFETY**
* ALL FIRE-RATED WALLS, CEILINGS, SHAFTS, AND PENETRATIONS SHALL COMPLY WITH IBC CHAPTER 7 AND IFC.
* ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE SEALED WITH APPROVED FIRE-STOPPING SYSTEMS.
* INTERIOR FINISH MATERIALS SHALL COMPLY WITH IBC CHAPTER 8 FLAME-SPREAD AND SMOKE-DEVELOPMENT RATINGS.
- 4. ACCESSIBILITY (ADA COMPLIANCE)**
* ALL RENOVATED AREAS SHALL COMPLY WITH 2018 IBC CHAPTER 11 AND ICC A117.1-2017.
* ACCESSIBLE ROUTES, DOOR CLEARANCES, MANEUVERING SPACES, HARDWARE, AND RESTROOM ACCESSIBILITY (IF APPLICABLE) SHALL BE PROVIDED.
- 5. MECHANICAL & VENTILATION REQUIREMENTS**
* HVAC MODIFICATIONS SHALL COMPLY WITH 2018 IMC.
* VENTILATION RATES SHALL COMPLY WITH IMC CHAPTER 4.
* EXISTING SYSTEMS MODIFIED OR EXTENDED SHALL MEET ENERGY AND EFFICIENCY REQUIREMENTS OF IECC 2018.
- 6. PLUMBING REQUIREMENTS**
* PLUMBING ALTERATIONS SHALL COMPLY WITH 2018 IPC.
* NEW OR RELOCATED FIXTURES SHALL MEET ACCESSIBILITY AND WATER-EFFICIENCY REQUIREMENTS.
* ALL PLUMBING WORK SHALL CONNECT TO EXISTING APPROVED BUILDING SYSTEMS.
- 7. ELECTRICAL REQUIREMENTS**
* ELECTRICAL WORK SHALL COMPLY WITH 2017 NEC.
* NEW LIGHTING SHALL COMPLY WITH IECC 2018 LIGHTING POWER AND CONTROLS REQUIREMENTS.
* PANELS AND CIRCUITS SHALL BE LABELED AND UPDATED AS REQUIRED.
- 8. CONSTRUCTION WASTE MANAGEMENT**
* CONSTRUCTION DEBRIS SHALL BE STORED IN COVERED CONTAINERS AND DISPOSED OF PER LOCAL TOWNSHIP REGULATIONS.
* WASTE SHALL NOT BE DISCHARGED INTO PUBLIC STORM DRAINS OR ADJACENT PROPERTIES.
- 9. SITE & BUILDING PROTECTION**
* CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES, UTILITIES, AND OCCUPIED AREAS DURING CONSTRUCTION.
* ANY DAMAGE TO EXISTING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR.
- 10. ZONING & OCCUPANCY COMPLIANCE**
* THE RENOVATED SUITE SHALL MAINTAIN COMPLIANCE WITH THE BUILDING'S APPROVED OCCUPANCY CLASSIFICATION.
* ANY CHANGE OF OCCUPANCY SHALL REQUIRE ADDITIONAL APPROVALS PER IEBC CHAPTER 10.
- 11. INSPECTIONS**
* ALL WORK SHALL BE SUBJECT TO INSPECTIONS BY THE AUTHORITY HAVING JURISDICTION (AHJ) INCLUDING:
ROUGH-IN INSPECTIONS (MEP)
FRAMING INSPECTION (IF APPLICABLE)
FINAL INSPECTION PRIOR TO OCCUPANCY

GENERAL REQUIREMENTS

- 1. CODE COMPLIANCE**
ALL CONSTRUCTION SHALL COMPLY WITH THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE (PA UCC) AND CURRENTLY ADOPTED CODES, INCLUDING IBC, IEBC, IFC, IMC, IPC, IECC, NEC, AND ALL APPLICABLE LOCAL ORDINANCES.
- 2. PERMITTING REQUIREMENTS**
SEPARATE PERMITS MAY BE REQUIRED FOR BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE PROTECTION WORK. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE AUTHORITY HAVING JURISDICTION PRIOR TO COMMENCEMENT OF WORK.
- 3. EXISTING BUILDING CONDITIONS**
THIS PROJECT IS AN INTERIOR RENOVATION WITHIN AN EXISTING BUILDING. NO SITE WORK, GRADING, OR EXTERIOR CONSTRUCTION IS INCLUDED. CONTRACTOR SHALL VERIFY EXISTING FIELD CONDITIONS BEFORE BEGINNING WORK.
- 4. CONSTRUCTION SAFETY & TENANT PROTECTION**
CONTRACTOR SHALL MAINTAIN SAFE CONSTRUCTION OPERATIONS AND COORDINATE WITH BUILDING MANAGEMENT TO PROTECT OCCUPANTS, ADJACENT TENANTS, AND COMMON AREAS DURING CONSTRUCTION.
- 5. DUST & NOISE CONTROL**
CONTRACTOR SHALL IMPLEMENT DUST, DEBRIS, AND NOISE CONTROL MEASURES TO MINIMIZE DISRUPTION TO ADJACENT OCCUPIED SPACES AND COMPLY WITH BUILDING MANAGEMENT REQUIREMENTS.
- 6. TEMPORARY FACILITIES**
CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES AND UTILITIES REQUIRED FOR CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH OSHA AND LOCAL REQUIREMENTS.
- 7. DEMOLITION & DEBRIS REMOVAL**
ALL DEMOLITION SHALL BE LIMITED TO AREAS INDICATED IN THE DRAWINGS. CONSTRUCTION DEBRIS SHALL BE REGULARLY REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.
- 8. FLOOR LEVELS & EXISTING STRUCTURE**
NO GRADING, FOUNDATION WORK, OR STRUCTURAL EXCAVATION IS INCLUDED IN THIS SCOPE. ALL WORK OCCURS WITHIN THE EXISTING BUILDING FOOTPRINT.

VICINITY MAP



SHEET INDEX

- | | |
|------|----------------------------|
| A0.0 | COVER SHEET |
| A0.1 | SITE PLAN |
| A1.0 | DEMO / EXISTING FLOOR PLAN |
| A1.1 | PROPOSED FLOOR PLAN |
| A2.0 | PROPOSED SECTION VIEWS |
| A3.0 | PROPOSED LIFE SAFETY PLAN |
| M1.0 | PROPOSED HVAC PLAN |
| M2.0 | MECHANICAL DETAIL |
| E1.0 | PROPOSED ELECTRICAL PLAN |
| E1.1 | PROPOSED ELECTRICAL PLAN |
| P1.0 | PROPOSED PLUMBING PLAN |
| P2.0 | PROPOSED PLUMBING PLAN |
| S1.0 | WALL FRAMING DETAIL |

SCOPE OF WORK

REMODELING & RENOVATION OF EXISTING COMMERCIAL SUITE 340B
© 330 S WARMINSTER RD, HATBORO, PA

PROPERTY INFORMATION

| | |
|--------------------|----------------------------------|
| APN: | 08-00-05734-009 |
| ADDRESS: | 330 S WARMINSTER RD, HATBORO, PA |
| PROPERTY TYPE: | INDUSTRIAL |
| ZONING: | LI |
| MUNICIPALITY NAME: | HATBORO BOROUGH |
| OCCUPANCY RATING: | -- |

BUILDING DESCRIPTION

| | |
|-----------------------|--------------|
| BUILDING SIZE: | 412,454 SQFT |
| STORIES: | 2 |
| LOT AREA: | 29.47 ACRES |
| YEAR BUILT/RENOVATED: | 1963/2014 |

CODE COMPLIANCE

ALL WORK SHALL COMPLY WITH THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE (PA UCC) AND THE CURRENTLY ADOPTED EDITIONS OF THE FOLLOWING CODES AS ENFORCED BY THE AUTHORITY HAVING JURISDICTION:

- 2018 INTERNATIONAL BUILDING CODE (IBC) – GOVERNING COMMERCIAL BUILDING CONSTRUCTION, OCCUPANCY, ACCESSIBILITY, AND LIFE SAFETY REQUIREMENTS.
- 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC) – GOVERNING ALTERATIONS, RENOVATIONS, AND INTERIOR MODIFICATIONS TO EXISTING BUILDINGS.
- 2018 INTERNATIONAL MECHANICAL CODE (IMC) – GOVERNING HVAC AND VENTILATION SYSTEMS.
- 2018 INTERNATIONAL PLUMBING CODE (IPC) – GOVERNING PLUMBING INSTALLATIONS AND SANITARY SYSTEMS.
- 2018 INTERNATIONAL FIRE CODE (IFC) – GOVERNING FIRE SAFETY AND FIRE PROTECTION REQUIREMENTS.
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) – GOVERNING ENERGY EFFICIENCY REQUIREMENTS FOR COMMERCIAL BUILDINGS.
- 2017 NATIONAL ELECTRICAL CODE (NEC / NFPA 70) – GOVERNING ELECTRICAL INSTALLATIONS AND SAFETY.
- ICC A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES – GOVERNING ACCESSIBILITY COMPLIANCE (ADA).
- LOCAL TOWNSHIP OF HATBORO ORDINANCES AND AMENDMENTS AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION.

FIRE PROTECTION

- 1. FIRE ALARM SYSTEM**
* FIRE ALARM SYSTEM MODIFICATIONS SHALL COMPLY WITH 2018 INTERNATIONAL BUILDING CODE (IBC) AND 2018 INTERNATIONAL FIRE CODE (IFC).
* WHERE AN EXISTING BUILDING FIRE ALARM SYSTEM IS PRESENT, THE RENOVATED SUITE SHALL BE CONNECTED TO AND REMAIN COMPATIBLE WITH THE EXISTING SYSTEM.
* ANY NEW DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 – NATIONAL FIRE ALARM AND SIGNALING CODE.

* SMOKE DETECTION SHALL BE PROVIDED AS REQUIRED BY THE BUILDING'S OCCUPANCY CLASSIFICATION AND THE AUTHORITY HAVING JURISDICTION (AHJ).
* WHERE SMOKE DETECTORS ARE REQUIRED, THEY SHALL:
BE HARDWIRED AND INTERCONNECTED TO THE BUILDING FIRE ALARM SYSTEM.
BE INSTALLED IN ACCORDANCE WITH NFPA 72 AND MANUFACTURER REQUIREMENTS.
BE LOCATED PER CODE IN CORRIDORS, COMMON AREAS, AND SPACES REQUIRED BY THE AHJ.
- 3. CARBON MONOXIDE (CO) DETECTION**
* CARBON MONOXIDE DETECTION SHALL BE PROVIDED WHERE FUEL-BURNING APPLIANCES EXIST WITHIN THE BUILDING OR WHERE REQUIRED BY THE AHJ.
* CO DETECTORS SHALL COMPLY WITH IFC SECTION 915 AND NFPA 720 (WHERE APPLICABLE).
* DEVICES SHALL BE INTERCONNECTED WITH THE FIRE ALARM SYSTEM WHERE REQUIRED.
- 4. MAINTAINING EXISTING FIRE PROTECTION SYSTEMS**
* EXISTING FIRE PROTECTION SYSTEMS (FIRE ALARM, SPRINKLER, STANDPIPE, ETC.) SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
* ANY TEMPORARY SHUTDOWN SHALL BE COORDINATED WITH THE BUILDING OWNER AND FIRE DEPARTMENT.
* MODIFICATIONS TO FIRE SPRINKLER SYSTEMS SHALL COMPLY WITH NFPA 13 AND BE PERFORMED BY A LICENSED CONTRACTOR.
- 5. NOTIFICATION & TESTING**
* ALL MODIFIED FIRE ALARM DEVICES SHALL BE TESTED AND COMMISSIONED PRIOR TO FINAL APPROVAL.
* FINAL ACCEPTANCE TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE AUTHORITY HAVING JURISDICTION.

STAMP

PROJECT FOR
330 S WARMINSTER RD.
HATBORO, PA
 REMODELING AND RENOVATION OF
 EXISTING COMMERCIAL SUITE 340B

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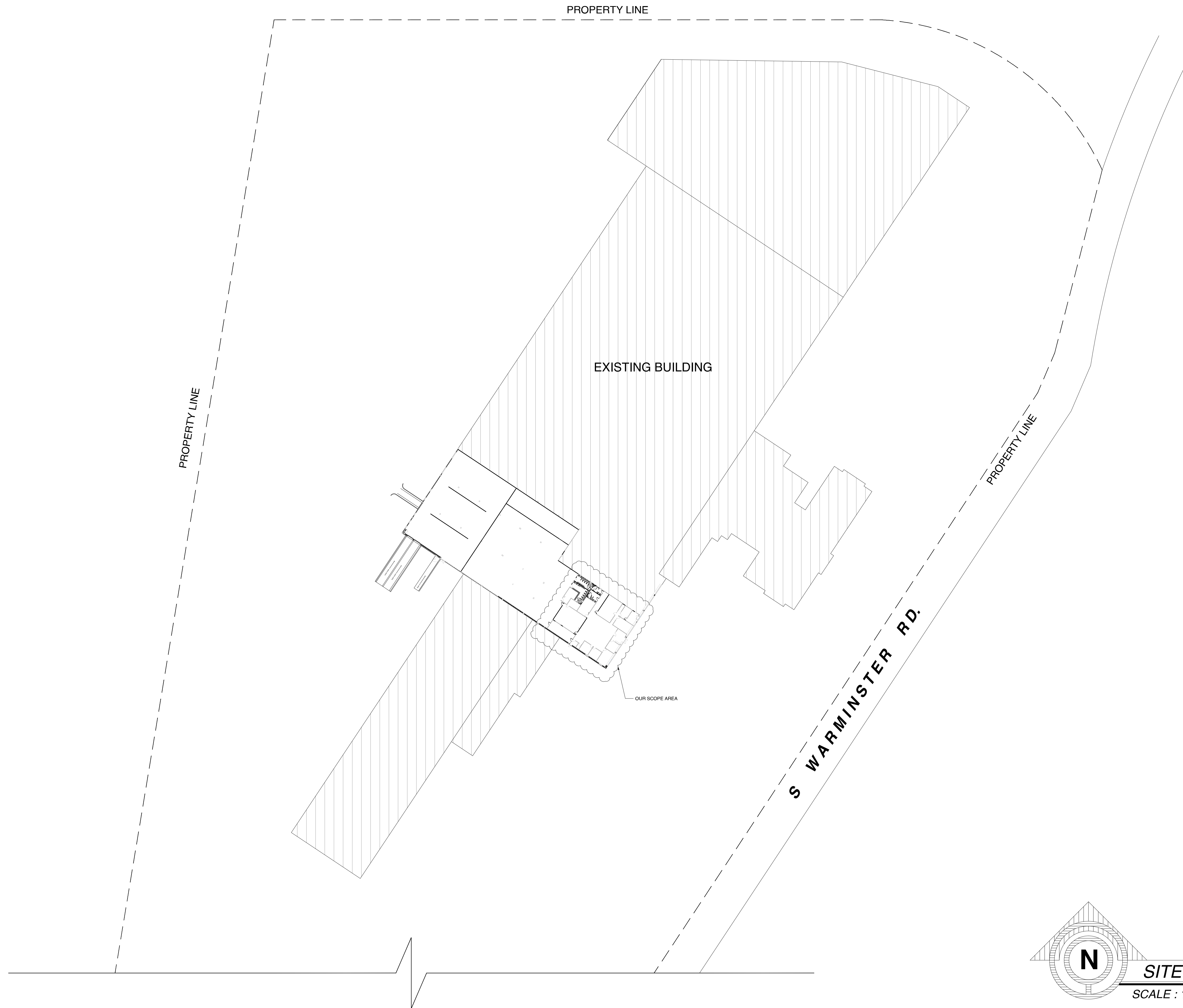
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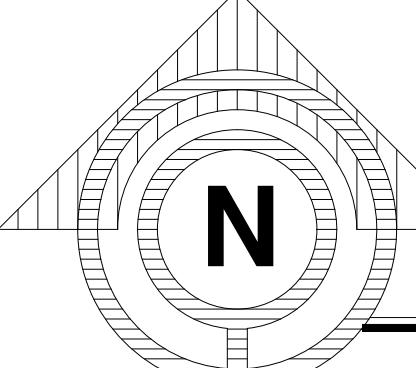
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SITE PLAN
 SCALE : 1/64" = 1'-0"

STAMP

PROJECT FOR
330 S WARMINSTER RD.
HATBORO, PA
 REMODELING AND RENOVATION OF
 EXISTING COMMERCIAL SUITE 340B

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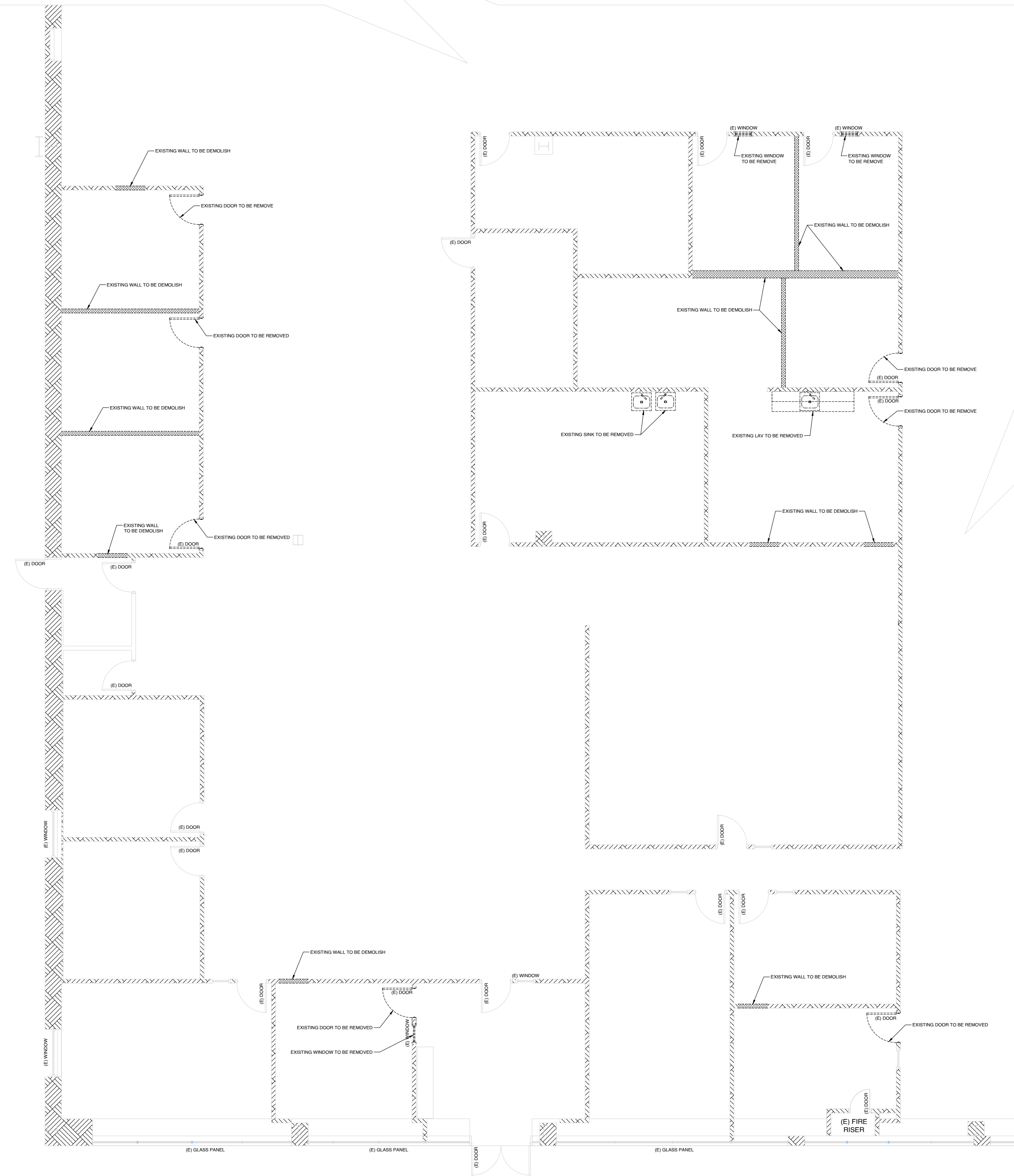
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DEMOLITION PLAN NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXIS CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT THE ATTENTION OF THE DESIGNER. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FILED VERIFICATION BY THE CONTRACTOR, OWNER, DESIGNER.
2. IT IS THE CONTRACTOR RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL, AND MISC. EQ AS REQ TO COMPLETE THE WORK. REFER TO PLANS FOR DEMOLITION INFORMATION.
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQ. DURING DEMOLITION AND CONSTRUCTION. ANY PORTION OF THE PROJECT WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPAIRED REPLACED TO MATCH EXISTING.
4. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL REMOVE, DISCONNECT, SALVAGE ALL MECHANICAL, ELECTRICAL AND MISC. WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION.
5. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SECURE DRY STORAGE WITHIN THE DESIGNATED AREA OR AREA DESIGNATED BY THE OWNER FOR OWNER RETAINED ITEMS.
6. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS DAILY. DEMOLITION WORK SHALL REMAIN AND CLEAN FOR THE BUILDING'S OCCUPANTS & CONSTRUCTION WORKERS. OCCUPIED AREAS ADJ TO THE PROJECT WORK AREAS SHALL BE KEPT CLEAN AT ALL TIMES DURING WORK.



DEMO / EXISTING FLOOR PLAN
SCALE : 1/8" = 1'-0"

WALL LEGEND

| | |
|--|---------------------------|
| | NEW INTERIOR WALL |
| | EXISTING WALL WILL REMAIN |
| | DEMOLISH WALL |

STAMP

PROJECT FOR
330 S WARMINSTER RD.
HATBORO, PA
REMODELING AND RENOVATION OF
EXISTING COMMERCIAL SUITE 340B

| NO. | REVISION |
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ARCHITECTURAL NOTES

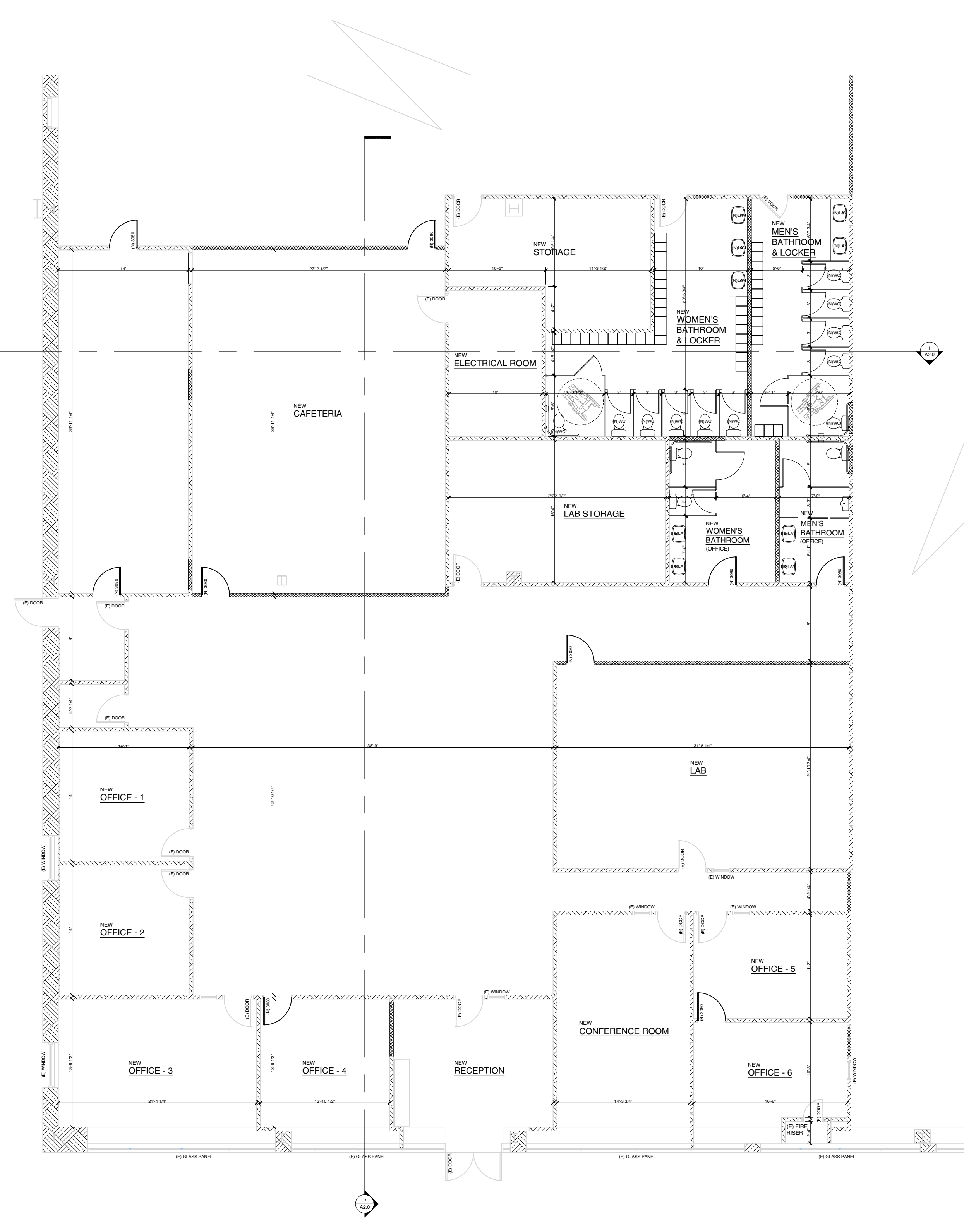
- GENERAL INTERIOR SCOPE**
WORK CONSISTS OF INTERIOR RENOVATION ONLY WITHIN AN EXISTING COMMERCIAL BUILDING.
NO NEW FOUNDATIONS, EXTERIOR WALLS, OR STRUCTURAL BUILDING ADDITIONS ARE INCLUDED UNLESS SPECIFICALLY NOTED.
ALL CONSTRUCTION SHALL COMPLY WITH:
* 2018 INTERNATIONAL BUILDING CODE (IBC)
* 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
* 2018 INTERNATIONAL MECHANICAL CODE (IMC)
* 2018 INTERNATIONAL PLUMBING CODE (IPC)
* 2017 NATIONAL ELECTRICAL CODE (NEC)
* ICC A117.1 ACCESSIBILITY STANDARD
* LOCAL PENNSYLVANIA AMENDMENTS AND AHJ REQUIREMENTS
- EXISTING BUILDING COORDINATION**
CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, UTILITIES, CEILING HEIGHTS, AND STRUCTURAL CONDITIONS PRIOR TO CONSTRUCTION.
ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGNER BEFORE PROCEEDING.
EXISTING STRUCTURAL, FIRE-RATED, AND LIFE-SAFETY ELEMENTS SHALL REMAIN INTACT UNLESS SPECIFICALLY MODIFIED IN THE APPROVED DRAWINGS.
- PARTITIONS & INTERIOR CONSTRUCTION**
ALL NEW INTERIOR PARTITIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH IBC CHAPTER 25 AND APPLICABLE UL FIRE-RATED ASSEMBLIES WHERE REQUIRED.
FIRE-RATED WALLS AND CEILINGS SHALL MAINTAIN REQUIRED FIRE-RESISTANCE RATINGS. ALL PENETRATIONS SHALL BE SEALED WITH APPROVED FIRESTOPPING SYSTEMS PER IBC SECTION 714.
- ACCESSIBILITY (ADA COMPLIANCE)**
RENOVATED AREAS SHALL COMPLY WITH 2010 ADA STANDARDS AND ICC A117.1.
ACCESSIBLE CLEARANCES, MANEUVERING SPACES, DOOR HARDWARE, AND RESTROOM FIXTURES SHALL MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
- DOORS & HARDWARE**
NEW DOORS SHALL COMPLY WITH IBC CHAPTER 10 FOR MEANS OF EGRESS.
EXIT DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE REQUIRED.
DOOR HARDWARE SHALL BE LEVER-TYPE OR ADA COMPLIANT.
REQUIRED EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT SPECIAL KNOWLEDGE OR EFFORT.
- MEANS OF EGRESS**
MEANS OF EGRESS SHALL COMPLY WITH IBC CHAPTER 10.
REQUIRED EXIT ACCESS, EXIT SIGNAGE, AND EMERGENCY LIGHTING SHALL BE MAINTAINED OR UPDATED AS REQUIRED.
EGRESS PATHS SHALL REMAIN UNOBSTRUCTED DURING AND AFTER CONSTRUCTION.
- INTERIOR FINISHES**
INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH IBC CHAPTER 8.
FLAME-SPREAD AND SMOKE-DEVELOPED RATINGS FOR COMMERCIAL OCCUPANCIES.
FLOORING MATERIALS SHALL BE SLIP-RESISTANT IN WET OR PUBLIC AREAS.
- CEILING & MECHANICAL COORDINATION**
SUSPENDED CEILINGS SHALL COMPLY WITH IBC AND ASTM C635/C636 INSTALLATION STANDARDS.
PROVIDE ACCESS PANELS WHERE REQUIRED FOR MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT.
- PLUMBING FIXTURES (WHERE INCLUDED)**
PLUMBING FIXTURES SHALL COMPLY WITH IPC AND ACCESSIBILITY REQUIREMENTS.
LOW-FLOW FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE AND LOCAL REGULATIONS.
TEMPERING VALVES SHALL BE PROVIDED WHERE REQUIRED TO PREVENT SCALDING.
- LIGHTING & VENTILATION**
ALL OCCUPIED SPACES SHALL BE PROVIDED WITH REQUIRED LIGHTING AND VENTILATION PER IBC AND IMC.
MECHANICAL VENTILATION SHALL BE PROVIDED WHERE NATURAL VENTILATION IS NOT AVAILABLE.
- EVALUATION REPORTS**
MANUFACTURER INSTALLATION INSTRUCTIONS AND ICC-ES EVALUATION REPORTS FOR SPECIALTY MATERIALS SHALL BE AVAILABLE ON-SITE FOR INSPECTION.
- FIRE-RATED PENETRATIONS**
ALL PENETRATIONS THROUGH RATED WALLS, CEILINGS, AND FLOORS SHALL BE SEALED WITH UL-LISTED FIRESTOP SYSTEMS.
- PROJECT LIMITATIONS**
NO EXTERIOR WORK, ROOFING WORK, OR SITE WORK IS INCLUDED IN THIS SCOPE UNLESS SPECIFICALLY NOTED.
ALL WORK SHALL BE CONFINED TO THE TENANT IMPROVEMENT AREA SHOWN ON THE DRAWINGS.

ADDITIONAL NOTES

- CEILING HEIGHTS**
FINISHED CEILING HEIGHTS WITHIN RENOVATED SPACES SHALL COMPLY WITH IBC SECTION 1208.
OCCUPIED SPACES SHALL MAINTAIN MINIMUM CEILING HEIGHTS REQUIRED FOR COMMERCIAL OCCUPANCIES UNLESS APPROVED EXISTING CONDITIONS ARE PERMITTED TO REMAIN PER IEBC.
- MEANS OF EGRESS & OCCUPANT SAFETY**
ALL NEW OR MODIFIED SPACES SHALL MAINTAIN COMPLIANT MEANS OF EGRESS PER IBC CHAPTER 10.
EGRESS CORRIDORS, EXIT ACCESS, AND EXIT DISCHARGE PATHS SHALL REMAIN CONTINUOUS AND UNOBSTRUCTED AT ALL TIMES.
- FIRE-RESISTANCE & TENANT SEPARATION**
EXISTING FIRE-RESISTANCE-RATED WALLS, SHAFTS, AND FLOOR/CEILING ASSEMBLIES SHALL BE MAINTAINED WHERE PRESENT.
ANY NEW OR MODIFIED PARTITIONS REQUIRED TO BE FIRE-RATED SHALL BE CONSTRUCTED PER IBC CHAPTER 7 AND UL-LISTED ASSEMBLIES.
ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES SHALL BE SEALED WITH APPROVED FIRESTOPPING SYSTEMS PER IBC SECTION 714.
- INTERIOR STAIRS (IF APPLICABLE)**
NEW OR MODIFIED STAIRWAYS WITHIN THE TENANT SPACE SHALL COMPLY WITH IBC SECTION 1011, INCLUDING:
* MINIMUM WIDTH REQUIREMENTS
* MAXIMUM RISER HEIGHT AND MINIMUM TREAD DEPTH
* HANDRAILS AND GUARDS WHERE REQUIRED
- MECHANICAL VENTILATION**
RENOVATED SPACES SHALL BE PROVIDED WITH MECHANICAL VENTILATION IN ACCORDANCE WITH IMC CHAPTER 4.
TOILET ROOMS, JANITOR CLOSETS, AND SIMILAR SPACES SHALL BE MECHANICALLY EXHAUSTED PER CODE.
- PLUMBING SYSTEM MODIFICATIONS**
ANY RELOCATED OR NEW PLUMBING FIXTURES SHALL CONNECT TO THE EXISTING SANITARY SEWER SYSTEM IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE (IPC).
PLUMBING FIXTURES SHALL MEET WATER-EFFICIENCY REQUIREMENTS AND ACCESSIBILITY CLEARANCES WHERE APPLICABLE.
- ELECTRICAL SYSTEM MODIFICATIONS**
ALL NEW ELECTRICAL WIRING AND EQUIPMENT SHALL COMPLY WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC).
GFCI PROTECTION SHALL BE PROVIDED FOR RECEPTACLES IN WET OR DAMP LOCATIONS PER NEC REQUIREMENTS.
ELECTRICAL WORK SHALL NOT REDUCE EXISTING LIFE-SAFETY OR EMERGENCY POWER SYSTEMS.
- EXISTING BUILDING PROVISIONS (IEBC)**
RENOVATION WORK SHALL COMPLY WITH THE 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC).
EXISTING BUILDING ELEMENTS NOT PART OF THE RENOVATION MAY REMAIN UNLESS SPECIFICALLY REQUIRED TO BE UPGRADED BY THE AUTHORITY HAVING JURISDICTION.
- CONSTRUCTION LIMITATIONS**
NO NEW GARAGES, EXTERIOR ADDITIONS, OR SITE WORK ARE INCLUDED IN THIS SCOPE.
ALL WORK IS LIMITED TO INTERIOR TENANT IMPROVEMENT WITHIN THE EXISTING BUILDING FOOTPRINT.

UTILITY NOTES

- ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTION**
WHERE REQUIRED BY THE 2017 NATIONAL ELECTRICAL CODE (NEC ARTICLE 210.12), BRANCH CIRCUITS SUPPLYING OUTLETS AND DEVICES IN APPLICABLE AREAS SHALL BE PROTECTED BY LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) DEVICES.
- GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION**
ALL RECEPTACLES LOCATED IN BATHROOMS, KITCHENS, BREAK ROOMS, JANITOR CLOSETS, AND OTHER WET OR DAMP LOCATIONS SHALL BE GFCI-PROTECTED IN ACCORDANCE WITH NEC ARTICLE 210.8.
- TAMPER-RESISTANT RECEPTACLES**
TAMPER-RESISTANT RECEPTACLES SHALL BE PROVIDED WHERE REQUIRED BY NEC ARTICLE 406.12, INCLUDING AREAS ACCESSIBLE TO THE PUBLIC.
- LUMINAIRE SUPPORT REQUIREMENTS**
OUTLET BOXES SUPPORTING LUMINAIRES SHALL BE RATED TO SUPPORT FIXTURE LOADS IN ACCORDANCE WITH NEC 314.27.
OUTLET BOXES SUPPORTING CEILING FANS SHALL BE LISTED AND LABELED FOR FAN SUPPORT WHERE APPLICABLE.
- LIGHTING CONTROLS & ENERGY COMPLIANCE**
NEW LIGHTING SYSTEMS SHALL COMPLY WITH THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) / PENNSYLVANIA ENERGY CODE.
AUTOMATIC LIGHTING CONTROLS, SUCH AS OCCUPANCY OR VACANCY SENSORS, SHALL BE PROVIDED IN RESTROOMS, STORAGE ROOMS, AND SIMILAR SPACES WHERE REQUIRED BY ENERGY CODE.
- ELECTRICAL PANEL & CIRCUIT LABELING**
ELECTRICAL PANELS SHALL BE CLEARLY AND PERMANENTLY LABELED TO IDENTIFY CIRCUIT LOADS IN ACCORDANCE WITH NEC 408.4.
- EQUIPMENT GROUNDING & BONDING**
ALL ELECTRICAL EQUIPMENT, RACEWAYS, AND ENCLOSURES SHALL BE PROPERLY GROUNDED AND BONDED PER NEC ARTICLE 250.
- EMERGENCY LIGHTING & EXIT SIGNS**
EMERGENCY LIGHTING AND ILLUMINATED EXIT SIGNS SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH:
* IBC CHAPTER 10
* NFPA 101 LIFE SAFETY CODE
* NEC ARTICLE 700
SYSTEMS SHALL INCLUDE BATTERY BACKUP OR EMERGENCY POWER WHERE REQUIRED.
- EXISTING ELECTRICAL SYSTEMS**
EXISTING ELECTRICAL SYSTEMS SHALL REMAIN OPERATIONAL UNLESS SPECIFICALLY MODIFIED.
ANY NEW WORK SHALL BE COORDINATED WITH THE EXISTING SERVICE AND DISTRIBUTION EQUIPMENT.
- EXTERIOR ELECTRICAL WORK**
NO NEW EXTERIOR ELECTRICAL WORK IS INCLUDED IN THIS PROJECT SCOPE UNLESS SPECIFICALLY NOTED ON ELECTRICAL DRAWINGS.



PROPOSED FLOOR PLAN
SCALE : 1/8" = 1'-0"

WALL LEGEND

| | |
|--|---------------------------|
| | NEW INTERIOR WALL |
| | EXISTING WALL WILL REMAIN |
| | DEMOLISH WALL |

STAMP

PROJECT FOR
330 S WARMINSTER RD.
HATBORO, PA
REMODELING AND RENOVATION OF
EXISTING COMMERCIAL SUITE 340B

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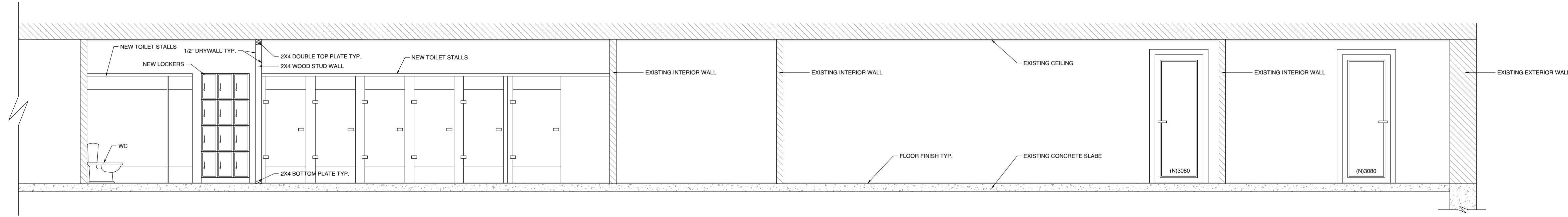
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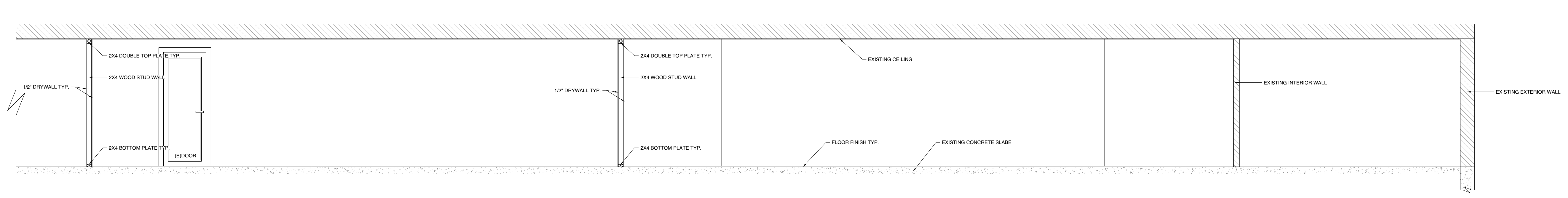
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PROPOSED
1 SECTION VIEW
 SCALE : 1/4" = 1'-0"



PROPOSED
2 SECTION VIEW
 SCALE : 1/4" = 1'-0"

STAMP

PROJECT FOR
330 S WARMINSTER RD.
HATBORO, PA
 REMODELING AND RENOVATION OF
 EXISTING COMMERCIAL SUITE 340B

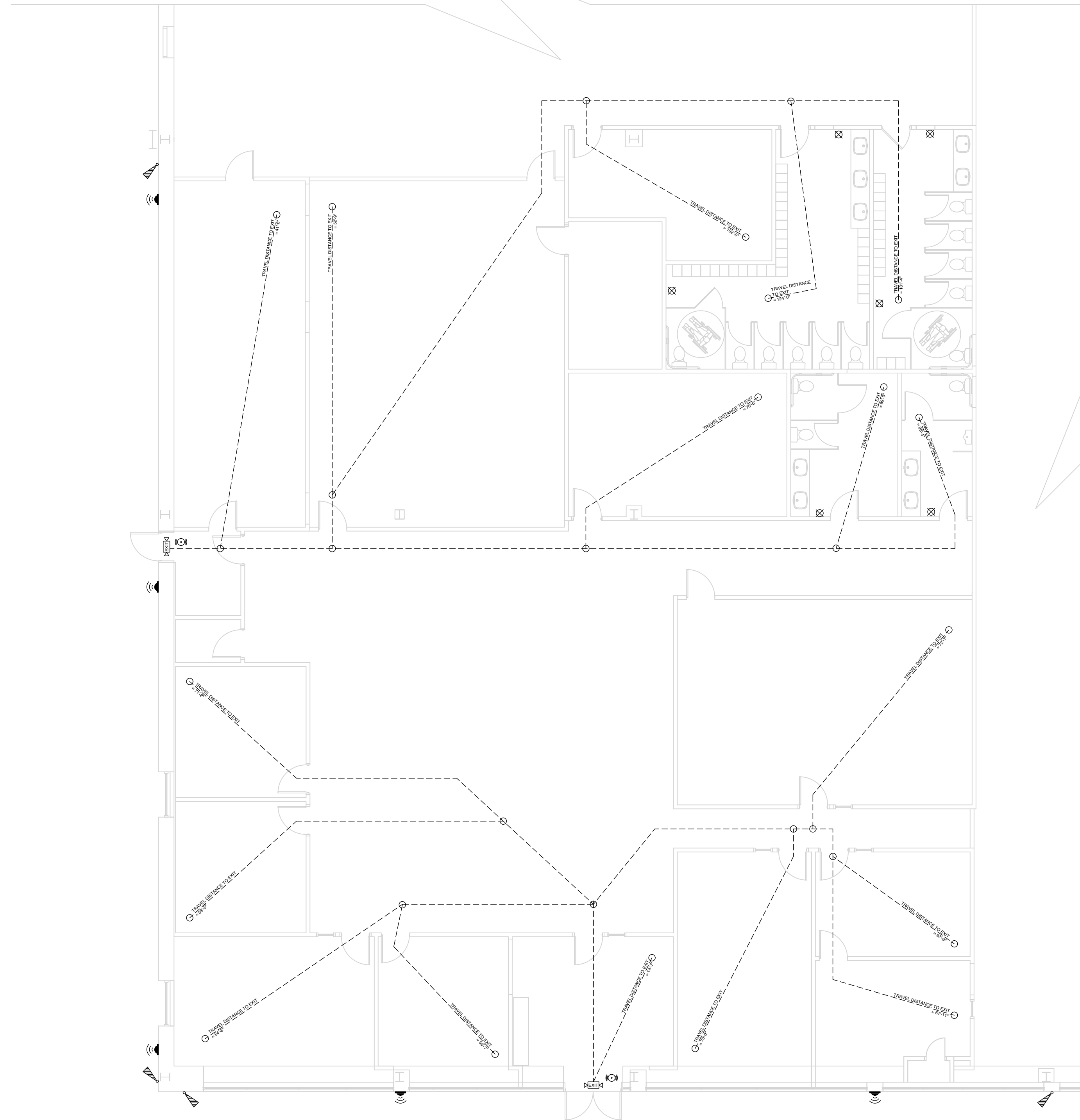
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LIFE SAFETY & SECURITY PLAN NOTES

1. **CCTV SURVEILLANCE SYSTEM**
PROVIDE CCTV CAMERAS AS INDICATED ON THE LIFE SAFETY/SECURITY PLAN TO MONITOR ENTRANCES, EXITS, CORRIDORS, AND COMMON INTERIOR AREAS WITHIN THE TENANT SPACE. CAMERAS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS AND COORDINATED WITH THE EXISTING BUILDING SECURITY SYSTEM.
2. **MEANS OF EGRESS / EMERGENCY EXITS**
ALL EXIT DOORS, EXIT ACCESS CORRIDORS, AND EXIT PATHWAYS SHALL REMAIN CLEAR AND UNOBSTRUCTED AT ALL TIMES. EXIT SIGNAGE AND EGRESS COMPONENTS SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE (IBC), INTERNATIONAL FIRE CODE (IFC), AND NFPA 101 – LIFE SAFETY CODE.
3. **EMERGENCY CALL / PANIC DEVICES**
WHERE REQUIRED BY THE OWNER, EMERGENCY PANIC BUTTONS SHALL BE INSTALLED AT DESIGNATED STAFF LOCATIONS AND CONNECTED TO THE BUILDING SECURITY OR ALARM SYSTEM. FINAL LOCATIONS SHALL BE COORDINATED WITH THE OWNER PRIOR TO INSTALLATION.
4. **INTRUSION ALARM SYSTEM**
PROVIDE INTRUSION DETECTION FOR ENTRY DOORS AND RESTRICTED AREAS WITHIN THE RENOVATED TENANT SPACE. SYSTEM SHALL BE INTEGRATED WITH THE EXISTING BUILDING SECURITY INFRASTRUCTURE WHERE APPLICABLE.
5. **INTERIOR SECURITY LIGHTING**
PROVIDE MOTION-SENSOR LIGHTING IN INTERIOR CORRIDORS, ENTRY VESTIBULES, AND OTHER DESIGNATED AREAS FOR OCCUPANT SAFETY AND SECURITY. LIGHTING CONTROLS SHALL COMPLY WITH THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC).
6. **EMERGENCY LIGHTING**
EMERGENCY LIGHTING UNITS SHALL BE PROVIDED ALONG EXIT PATHS, CORRIDORS, AND OCCUPIED SPACES WITHIN THE RENOVATED AREA. EMERGENCY LIGHTING SHALL INCLUDE BATTERY BACKUP AND COMPLY WITH IBC, IFC, AND NFPA 101 REQUIREMENTS.
7. **ADVANCED MONITORING CAMERAS (OWNER OPTION)**
WHERE SPECIFIED BY THE OWNER, PROVIDE 360-DEGREE OR ENHANCED MONITORING CAMERAS IN HIGH-TRAFFIC INTERIOR AREAS. CAMERA TYPE AND FINAL PLACEMENT SHALL BE COORDINATED WITH THE OWNER AND SECURITY CONTRACTOR.
8. **CAMERA PLACEMENT & COVERAGE**
ALL CAMERAS SHALL BE POSITIONED TO MINIMIZE BLIND SPOTS AND PROVIDE CLEAR COVERAGE OF ENTRY/EXIT POINTS AND CIRCULATION AREAS WITHIN THE TENANT SPACE.
9. **INSTALLATION & COORDINATION**
ALL LIFE SAFETY AND SECURITY DEVICES SHALL BE INSTALLED, TESTED, AND COMMISSIONED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS, NFPA STANDARDS, AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION (AHJ). FINAL DEVICE LOCATIONS SHALL BE COORDINATED WITH THE BUILDING OWNER PRIOR TO INSPECTION AND APPROVAL.



| LEGEND | |
|--------|---------------------|
| | CCTV CAMERA |
| | EMERGENCY EXIT |
| | PANIC BUTTON |
| | INTRUSION ALARM |
| | MOTION SENSOR LIGHT |
| | EMERGENCY LIGHT |
| | PATH OF TRAVEL |

NOTE:
PANIC BUTTON LOCATIONS TO BE DETERMINED BY OWNER/ TENANT BASED ON FINAL FURNITURE AND EQUIPMENT LAYOUT. TO BE INSTALLED AT STRATEGIC, CONCEALED, AND ACCESSIBLE LOCATIONS IN COORDINATION WITH SECURITY PROVIDER.

**PROPOSED
LIFE SAFETY PLAN**
SCALE : 1/8" = 1'-0"

STAMP

PROJECT FOR
**330 S WARMINSTER RD.
HATBORO, PA**
REMODELING AND RENOVATION OF
EXISTING COMMERCIAL SUITE 340B

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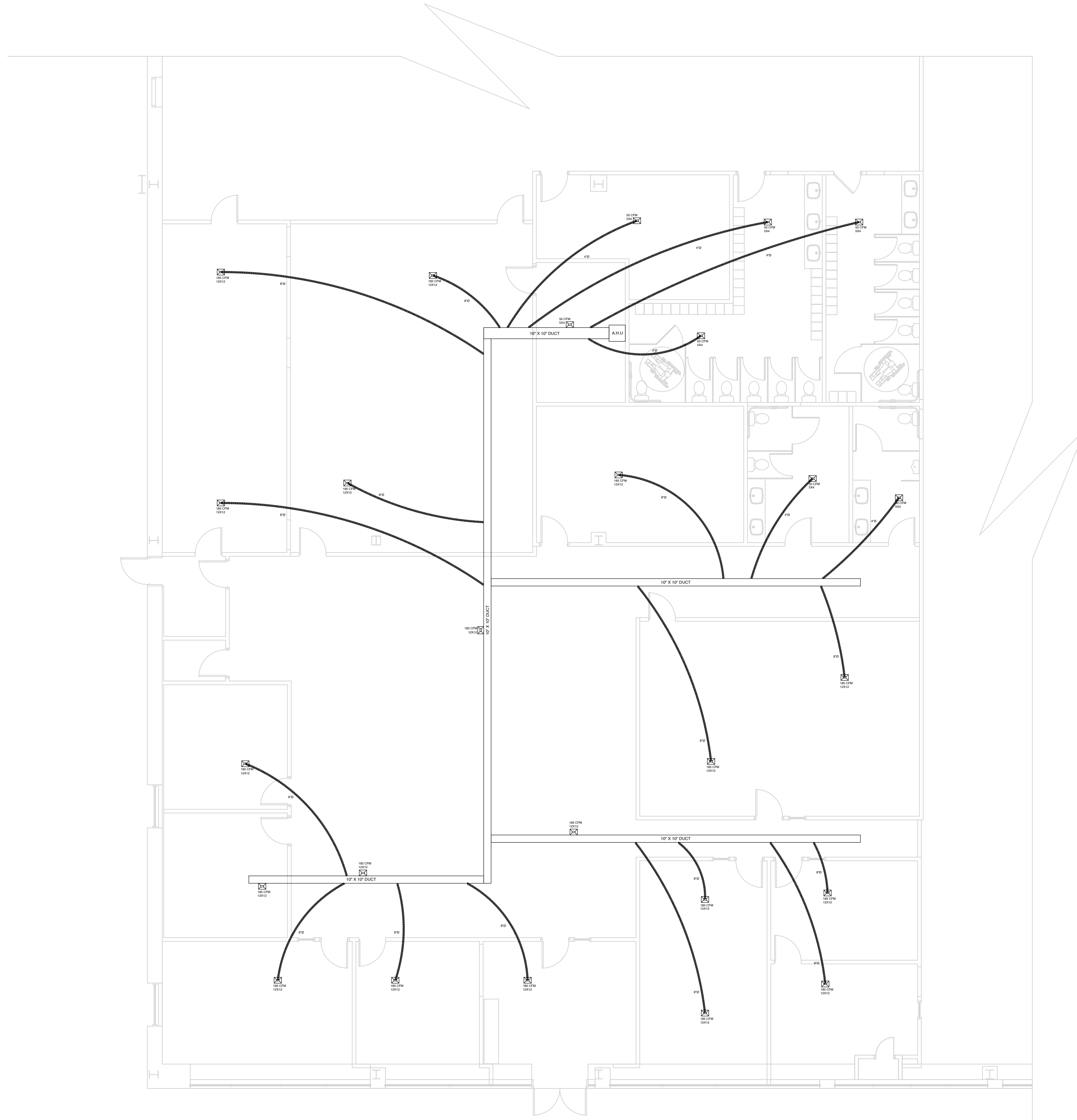
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**PROPOSED
HVAC PLAN**
SCALE : 1/8" = 1'-0"

STAMP

PROJECT FOR
**330 S WARMINSTER RD.
 HATBORO, PA**
 REMODELING AND RENOVATION OF
 EXISTING COMMERCIAL SUITE 340B

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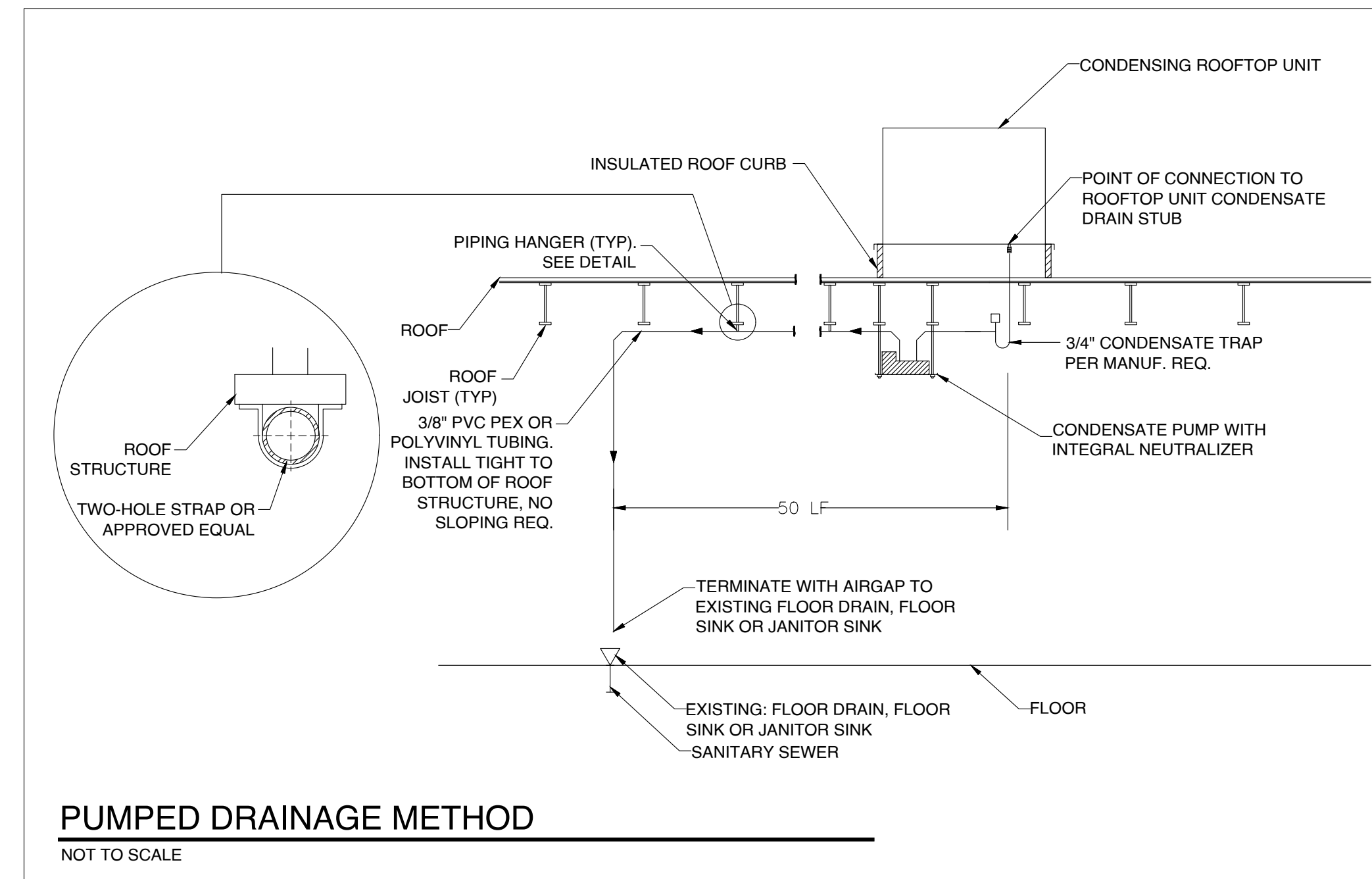
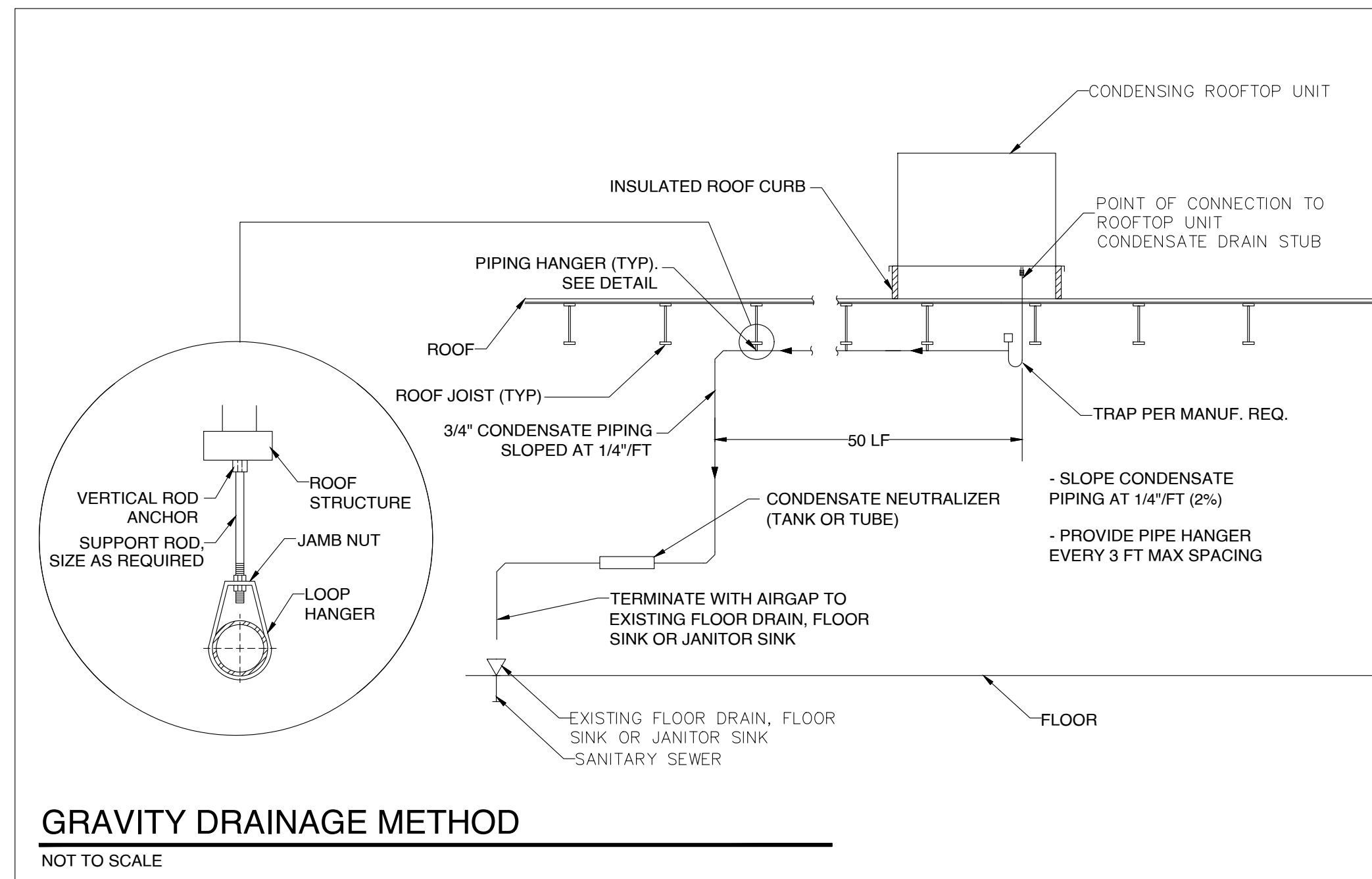
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| H.V.A.C. DESIGN REQUIREMENTS | | YES | NO |
|------------------------------|-----------------------------------|-----|----|
| 1. | DUCT SMOKE DETECTOR. | | ● |
| 2. | FIRE DAMPER(S). | | ● |
| 3. | SMOKE DAMPER(S). | | ● |
| 4. | FIRE RATED ENCLOSURE. | | ● |
| 5. | FIRE RATED ROOF CEILING ASSEMBLY. | | ● |
| 6. | FIRE STOPPING. | | ● |
| 7. | SMOKE CONTROL. | | ● |

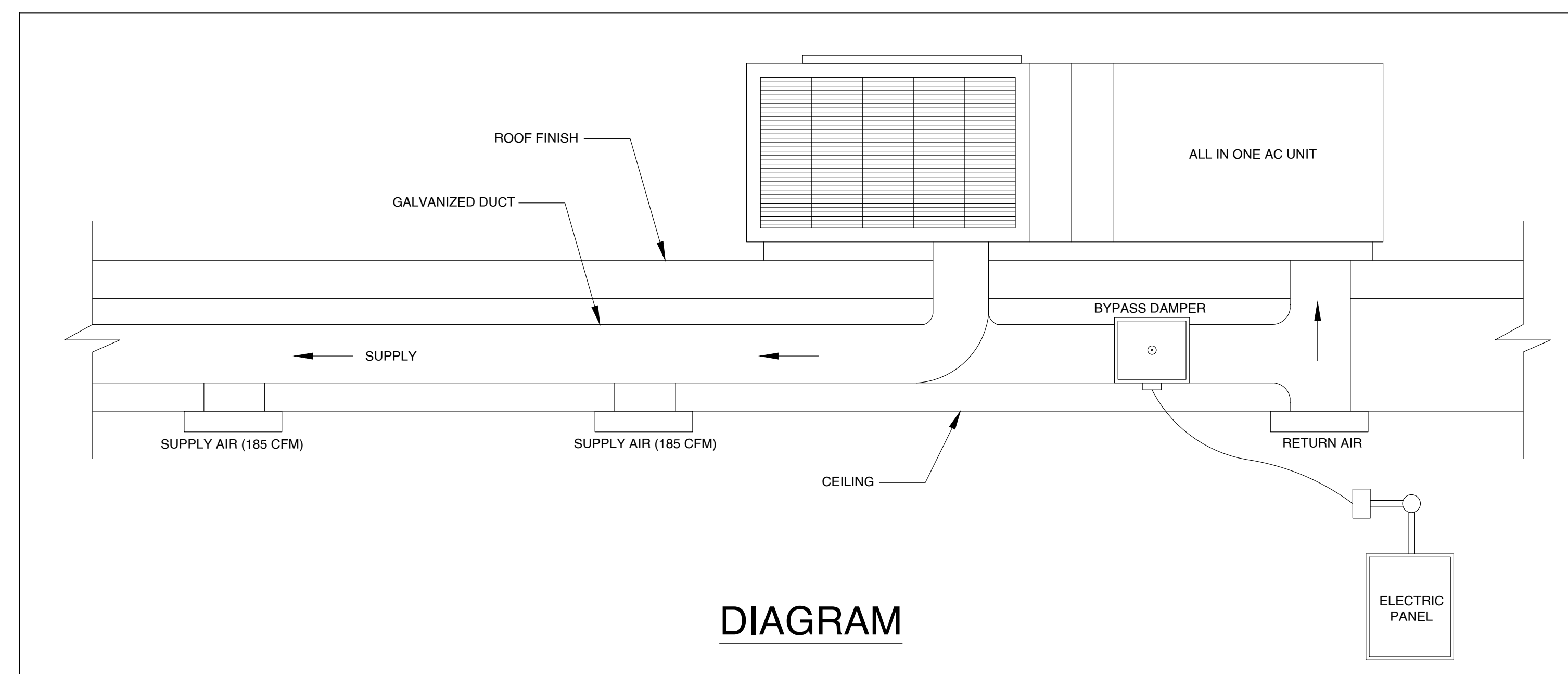
| EXHAUST FAN SCHEDULE: EF-1 | |
|--|---------------|
| MANUFACTURER: | -- |
| MODEL: | -- |
| CFM: | 100 |
| SP: | 0.10" |
| DRIVE: | DIRECT. |
| LOCATION: | CEILING. |
| ACCESORIES: | DRAFT DAMPER. |
| NOTE: USE DESIGNATED EXHAUST FAN OR APPROVED EQUAL. | |

| AIR CONDITIONING LEGEND | |
|-------------------------|--|
| SYMBOL | LEGEND |
| A.H.U. | AIR HANDLING UNIT. |
| C.U. | CONDENSING UNIT. |
| O.A. | OUTSIDE AIR. |
| R/A | RETURN AIR. |
| S.A. | SUPPLY AIR. |
| W.S.A. | WALL SUPPLY AIR. |
| C.S.A. | CEILING SUPPLY AIR. |
| RL & S | REFRIGERANT LIQUID & SUCTION PIPE. |
| CFM | CUBIC FEET PER MINUTE. |
| M.V.D. | MANUAL VOLUME DAMPER. |
| O.B.D. | OPPOSED BLADE DAMPER. |
| ⊖ | THERMOSTAT. |
| ┌─┐ | DUCTWORK. |
| ┌─┐ F.D. | FLEXIBLE DUCT. |
| ⊠ | SUPPLY AIR DIFFUSER. |
| ⊠ | RETURN AIR / TRANSFER GRILLE. |
| ┌─┐ | MANUAL VOLUME DAMPER. |
| (A) | DENOTES AIR DISTRI. DEVICE. |
| ▷ ◊ | DISTRIBUTION BOX. |
| UC | UNDER CUT DOOR ABOVE FINISH FLOOR AS NOTED |



| | Best Practice | Good Practice |
|------------------------|---|--|
| <i>Piping material</i> | Use PVC piping sloped at 2% (1/4-inch per foot). | Use PVC or PEX piping with support sloped at 1% (1/8-inch per foot). |
| <i>Piping support</i> | Use commercial-grade piping hangers such as clevis or swivel loop hangers. | Use perforated metal strap hangers. |
| <i>Neutralization</i> | Provide neutralization of condensate prior to disposal into approved drain. | Neutralization is recommended. |
| <i>Overflow/bypass</i> | Provide a bypass of the neutralizer in case of overflow. | Bypass is recommended. |
| <i>Discharge</i> | Terminate piping into approved sewage floor drain with air gap. | |

| | Best Practice | Good Practice |
|------------------------|--|--|
| <i>Pump location</i> | Locate condensate pump directly below the C-RTU equipment. | Locate pump as close to the C-RTU equipment as possible. |
| <i>Piping</i> | All piping between C-RTU and pump must slope downward (use rigid copper or PVC to avoid high spots with commercial grade pipe hangers). | Use sloped PVC or supported PEX piping from the C-RTU equipment to the inlet of the condensate pump. |
| <i>Neutralization</i> | Either 1) use combination pump/neutralizer, 2) neutralize before the pump inlet, or 3) ensure pump is rated for acidic condensate liquid. | |
| <i>Overflow alarm</i> | If the pump is located below the C-RTU equipment, provide a drain pan and overflow alarm. | |
| <i>Piping material</i> | Use PEX or polyvinyl tubing from the pump discharge to an approved disposal location. (Note: To avoid corrosion, plastic fittings are preferred over brass). | |
| <i>Piping support</i> | Support flexible piping with commercial quality supports such as Unistrut and pipe clamps. | Support flexible piping with pipe clamps attached to the structure or strap hangers. |



STAMP

PROJECT FOR
330 S WARMINSTER RD.
HATBORO, PA
 REMODELING AND RENOVATION OF
 EXISTING COMMERCIAL SUITE 340B

| NO. | REVISION |
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ELECTRICAL NOTES

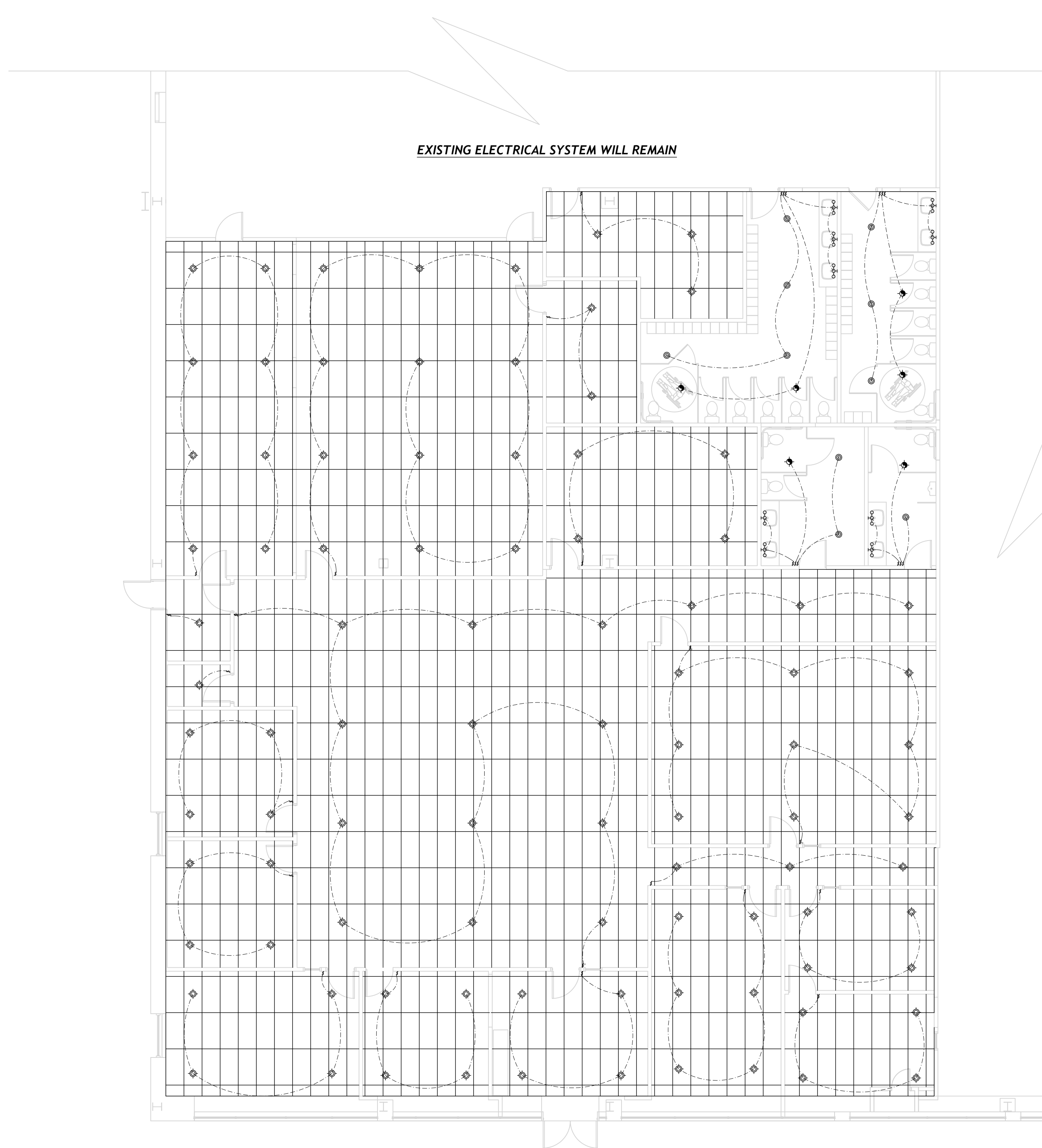
- FINAL SELECTION AND APPROVAL OF ALL LIGHTING FIXTURES, DEVICES, AND ELECTRICAL EQUIPMENT SHALL BE BY THE OWNER/TENANT PRIOR TO INSTALLATION.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED BY THE COMMONWEALTH OF PENNSYLVANIA AND LOCAL AUTHORITY HAVING JURISDICTION (AHJ).
- NEW ELECTRICAL WORK SHALL BE CONNECTED TO THE EXISTING BUILDING ELECTRICAL SERVICE. VERIFICATION OF EXISTING SERVICE CAPACITY AND PANEL AVAILABILITY SHALL BE BY OTHERS.
- ALL NEW WIRING SHALL BE COPPER CONDUCTORS UNLESS OTHERWISE APPROVED BY THE AHJ.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND CONNECT ALL LIGHTING FIXTURES, EQUIPMENT, AND DEVICES SHOWN ON THE ELECTRICAL DRAWINGS.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
- LIGHTING SYSTEMS SHALL COMPLY WITH THE PENNSYLVANIA ENERGY CODE / IECC, AND ENERGY-EFFICIENT LED LIGHTING SHALL BE USED FOR NEW FIXTURES UNLESS OTHERWISE NOTED.
- GROUNDING AND BONDING OF THE ELECTRICAL SYSTEM SHALL COMPLY WITH NEC ARTICLE 250, INCLUDING BONDING TO THE BUILDING GROUNDING ELECTRODE SYSTEM WHERE ACCESSIBLE.
- LIGHTING SWITCH MOUNTING HEIGHT SHALL BE APPROXIMATELY 48 INCHES A.F.F. (TYPICAL) UNLESS OTHERWISE REQUIRED FOR ACCESSIBILITY COMPLIANCE PER ADA/IBC.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ADDITIONAL LOW-VOLTAGE OR SPECIALTY SYSTEMS, INCLUDING SECURITY, DATA, COMMUNICATIONS, AND AUDIO SYSTEMS, WITH THE OWNER AND RESPECTIVE VENDORS.
- WHERE REQUIRED BY NEC, ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTION SHALL BE PROVIDED FOR APPLICABLE BRANCH CIRCUITS.
- ALL RECEPTACLES IN WET OR DAMP LOCATIONS SHALL BE GFCI PROTECTED IN ACCORDANCE WITH NEC ARTICLE 210.8.

SMOKE ALARMS

- FIRE ALARM AND DETECTION SYSTEMS SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE (IBC), INTERNATIONAL FIRE CODE (IFC), AND NFPA 72 - NATIONAL FIRE ALARM AND SIGNALING CODE, AS ADOPTED BY THE COMMONWEALTH OF PENNSYLVANIA AND THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ).
- WHERE AN EXISTING BUILDING FIRE ALARM SYSTEM IS PRESENT, THE RENOVATED TENANT SPACE SHALL BE CONNECTED AND INTEGRATED WITH THE EXISTING BUILDING FIRE ALARM SYSTEM.
- SMOKE DETECTION DEVICES SHALL BE INSTALLED AS REQUIRED BY THE BUILDING FIRE ALARM DESIGN AND OCCUPANCY CLASSIFICATION, AND SHALL BE COORDINATED WITH THE BASE BUILDING FIRE PROTECTION SYSTEM.
- INSTALLATION, MODIFICATION, OR RELOCATION OF FIRE ALARM DEVICES SHALL BE PERFORMED BY A LICENSED FIRE ALARM CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE AHJ.
- FIRE ALARM DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 SPACING, MOUNTING HEIGHTS, AND PLACEMENT REQUIREMENTS, INCLUDING PROPER CLEARANCES FROM AIR DIFFUSERS, DOORS, AND OBSTRUCTIONS.
- ALL NEW FIRE ALARM DEVICES SHALL BE HARDWIRED AND SUPERVISED, AND SHALL RECEIVE PRIMARY POWER FROM THE BUILDING ELECTRICAL SYSTEM WITH SECONDARY BATTERY BACKUP POWER IN ACCORDANCE WITH NFPA 72.
- WHERE REQUIRED BY THE AHJ, AUDIBLE AND VISUAL NOTIFICATION DEVICES (HORN/STROBE) SHALL BE INSTALLED TO MAINTAIN REQUIRED OCCUPANT NOTIFICATION COVERAGE WITHIN THE RENOVATED TENANT SPACE.
- ANY MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM SHALL BE COORDINATED WITH THE BUILDING OWNER AND FIRE ALARM MONITORING PROVIDER PRIOR TO CONSTRUCTION.

ELECTRICAL LEGEND

| | |
|--|-----------------------------|
| | DUPLEX OUTLET |
| | DUPLEX OUTLET ABOVE COUNTER |
| | DUPLEX OUTLET BELOW COUNTER |
| | CEILING OUTLET |
| | FLOOR OUTLET |
| | GROUND FAULT OUTLET |
| | WEATHER PROOF OUTLET |
| | 220v OUTLET |
| | EXHAUST FAN |
| | EXHAUST FAN / LIGHT |
| | RECESSED CAN LIGHT |
| | EYEBALL LIGHT |
| | VAPOR PROTECTED LIGHT |
| | CEILING LIGHT |
| | PENDANT LIGHT |
| | SCONE LIGHT |
| | WALL LIGHT |
| | SINGLE SWITCH |
| | 3-WAY SWITCH |
| | 4-WAY SWITCH |
| | DIMMER SWITCH |
| | CABLE T.V. JACK |
| | HIGH SPEED INTERNET |
| | BUTTON |
| | JUNCTION BOX |
| | PHONE JACK |
| | SMOKE DETECTOR |
| | STROBE SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | INTERCOM |
| | ELECTRIC METER |
| | 1 BULB FLUORESCENT |
| | 2 BULB FLUORESCENT |
| | VANITY LIGHTS |
| | CHIMES |
| | FLOOD LIGHT |
| | SPEAKER HARD WIRE |
| | CEILING FAN W/LIGHT |
| | 300 AMP ELEC PANEL |
| | 200 AMP ELEC PANEL |
| | 100 AMP ELEC PANEL |



**PROPOSED
LIGHTING PLAN**
SCALE : 1/8" = 1'-0"

STAMP

PROJECT FOR
330 S WARMINSTER RD.
HATBORO, PA
 REMODELING AND RENOVATION OF
 EXISTING COMMERCIAL SUITE 340B

| NO. | REVISION |
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 DATE: _____
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ELECTRICAL NOTES

- FINAL SELECTION AND APPROVAL OF ALL LIGHTING FIXTURES, DEVICES, AND ELECTRICAL EQUIPMENT SHALL BE BY THE OWNER/TENANT PRIOR TO INSTALLATION.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED BY THE COMMONWEALTH OF PENNSYLVANIA AND LOCAL AUTHORITY HAVING JURISDICTION (AHJ).
- NEW ELECTRICAL WORK SHALL BE CONNECTED TO THE EXISTING BUILDING ELECTRICAL SERVICE. VERIFICATION OF EXISTING SERVICE CAPACITY AND PANEL AVAILABILITY SHALL BE BY OTHERS.
- ALL NEW WIRING SHALL BE COPPER CONDUCTORS UNLESS OTHERWISE APPROVED BY THE AHJ.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND CONNECT ALL LIGHTING FIXTURES, EQUIPMENT, AND DEVICES SHOWN ON THE ELECTRICAL DRAWINGS.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
- LIGHTING SYSTEMS SHALL COMPLY WITH THE PENNSYLVANIA ENERGY CODE / IECC, AND ENERGY-EFFICIENT LED LIGHTING SHALL BE USED FOR NEW FIXTURES UNLESS OTHERWISE NOTED.
- GROUNDING AND BONDING OF THE ELECTRICAL SYSTEM SHALL COMPLY WITH NEC ARTICLE 250, INCLUDING BONDING TO THE BUILDING GROUNDING ELECTRODE SYSTEM WHERE ACCESSIBLE.
- LIGHTING SWITCH MOUNTING HEIGHT SHALL BE APPROXIMATELY 48 INCHES A.F.F. (TYPICAL) UNLESS OTHERWISE REQUIRED FOR ACCESSIBILITY COMPLIANCE PER ADA/IBC.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ADDITIONAL LOW-VOLTAGE OR SPECIALTY SYSTEMS, INCLUDING SECURITY, DATA, COMMUNICATIONS, AND AUDIO SYSTEMS, WITH THE OWNER AND RESPECTIVE VENDORS.
- WHERE REQUIRED BY NEC, ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTION SHALL BE PROVIDED FOR APPLICABLE BRANCH CIRCUITS.
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SMOKE ALARMS

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- SMOKE DETECTION DEVICES SHALL BE INSTALLED AS REQUIRED BY THE BUILDING FIRE ALARM DESIGN AND OCCUPANCY CLASSIFICATION, AND SHALL BE COORDINATED WITH THE BASE BUILDING FIRE PROTECTION SYSTEM.
- INSTALLATION, MODIFICATION, OR RELOCATION OF FIRE ALARM DEVICES SHALL BE PERFORMED BY A LICENSED FIRE ALARM CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE AHJ.
- FIRE ALARM DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 SPACING, MOUNTING HEIGHTS, AND PLACEMENT REQUIREMENTS, INCLUDING PROPER CLEARANCES FROM AIR DIFFUSERS, DOORS, AND OBSTRUCTIONS.
- ALL NEW FIRE ALARM DEVICES SHALL BE HARDWIRED AND SUPERVISED, AND SHALL RECEIVE PRIMARY POWER FROM THE BUILDING ELECTRICAL SYSTEM WITH SECONDARY BATTERY BACKUP POWER IN ACCORDANCE WITH NFPA 72.
- WHERE REQUIRED BY THE AHJ, AUDIBLE AND VISUAL NOTIFICATION DEVICES (HORN/STROBE) SHALL BE INSTALLED TO MAINTAIN REQUIRED OCCUPANT NOTIFICATION COVERAGE WITHIN THE RENOVATED TENANT SPACE.
- ANY MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM SHALL BE COORDINATED WITH THE BUILDING OWNER AND FIRE ALARM MONITORING PROVIDER PRIOR TO CONSTRUCTION.



**PROPOSED
POWER PLAN**
SCALE : 1/8" = 1'-0"

ELECTRICAL LEGEND

| | |
|--|-----------------------------|
| | DUPLEX OUTLET |
| | DUPLEX OUTLET ABOVE COUNTER |
| | DUPLEX OUTLET BELOW COUNTER |
| | CEILING OUTLET |
| | FLOOR OUTLET |
| | GROUND FAULT OUTLET |
| | WEATHER PROOF OUTLET |
| | 220v OUTLET |
| | EXHAUST FAN |
| | EXHAUST FAN / LIGHT |
| | RECESSED CAN LIGHT |
| | EYEBALL LIGHT |
| | VAPOR PROTECTED LIGHT |
| | CEILING LIGHT |
| | PENDANT LIGHT |
| | SCONE LIGHT |
| | WALL LIGHT |
| | SINGLE SWITCH |
| | 3-WAY SWITCH |
| | 4-WAY SWITCH |
| | DIMMER SWITCH |
| | CABLE T.V. JACK |
| | HIGH SPEED INTERNET |
| | BUTTON |
| | JUNCTION BOX |
| | PHONE JACK |
| | SMOKE DETECTOR |
| | STROBE SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | INTERCOM |
| | ELECTRIC METER |
| | 1 BULB FLUORESCENT |
| | 2 BULB FLUORESCENT |
| | VANITY LIGHTS |
| | CHIMES |
| | FLOOD LIGHT |
| | SPEAKER HARD WIRE |
| | CEILING FAN W/LIGHT |
| | 300 AMP ELEC PANEL |
| | 200 AMP ELEC PANEL |
| | 100 AMP ELEC PANEL |

STAMP

PROJECT FOR
330 S WARMINSTER RD.
HATBORO, PA
REMODELING AND RENOVATION OF
EXISTING COMMERCIAL SUITE 340B

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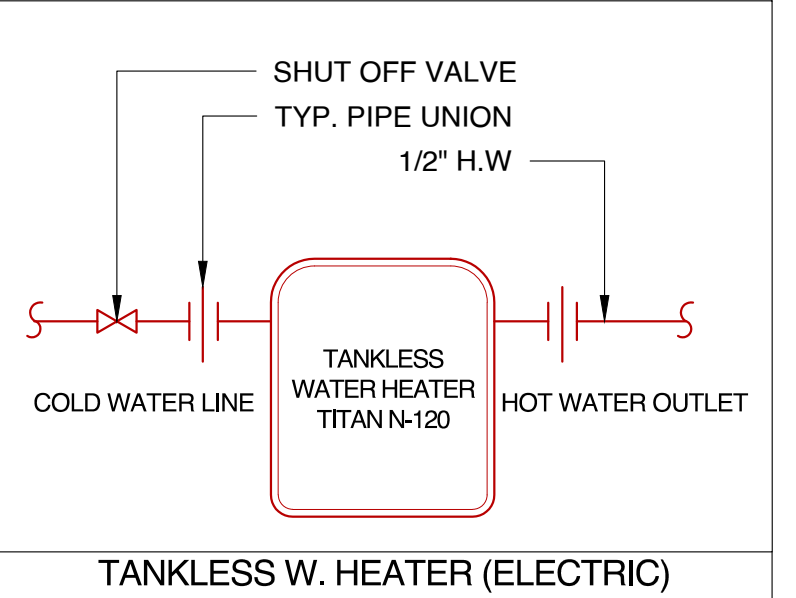
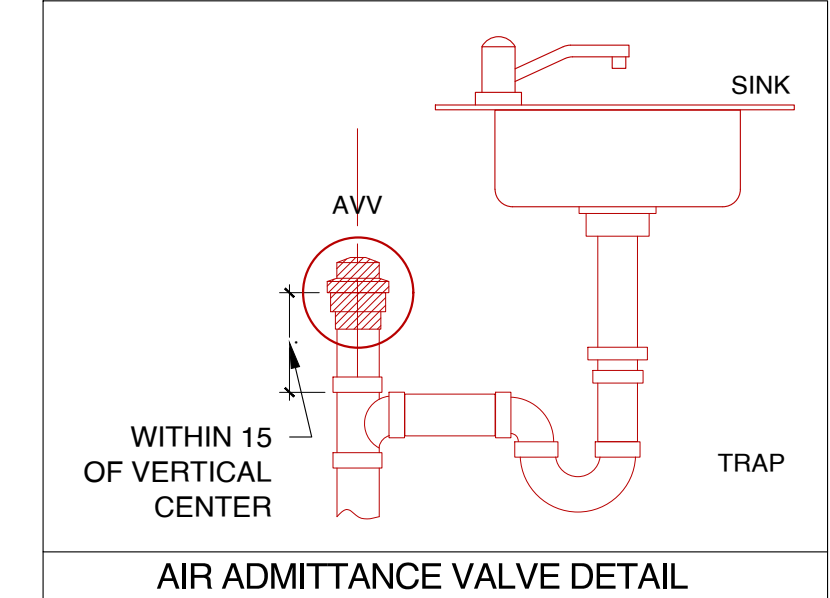
E1.1



PROPOSED
WATER SUPPLY PLAN
 SCALE : 1/8" = 1'-0"

| PLUMBING LEGEND | |
|-----------------|-------------------------|
| SYMBOL | DESCRIPTION |
| | COLD WATER (C.W.) LINE. |
| | HOT WATER (H.W.) LINE. |
| | SANITARY SEWER LINE. |
| | GATE VALVE. |
| | FLOOR CLEAN-OUT. |
| | CLEAN-OUT TO GRADE. |
| CW | COLD WATER. |
| HW | HOT WATER. |
| VTR | VENT THRU ROOF. |
| VTW | VENT THRU WALL. |

PLUMBING NOTE
 1- ALL SANITARY LINES SHALL BE SLOPED AS FOLLOWS:
 2" OR SMALLER SHALL BE SLOPED AT 1/4" PER FT.
 3" OR LARGER SHALL BE SLOPED AT 1/8" PER FT.



| PLUMBING FIXTURE CONNECTION SCHEDULE | | | | | | |
|--------------------------------------|-----------------------|-------|------|------|------|---|
| MARK | DESCRIPTION | WASTE | VENT | C.W. | H.W. | REMARKS / SPECS |
| WC | WATER CLOSET. | 3" | 2" | 3/4" | -- | FLOOR MOUNTED, TANK TYPE, 1.28 GPF. |
| LAV | LAVATORY. | 2" | 2" | 1/2" | -- | COUNTER TOP, 1.5 GPM. |
| SW | SHOWER. | 2" | 2" | 1/2" | 1/2" | ANTI-SCALDING VALVE, 1.5 GPM HEAD |
| DW | DISHWASHER. | 3/4" | -- | 1/2" | 1/2" | 1-1/2" INDIRECT WASTE LINE. |
| 2CSK | TWO COMPARTMENT SINK. | 2" | 2" | 1/2" | 1/2" | WALL MTD, 1.5 GPM. |
| JSK | JANITOR SINK. | 2" | 2" | 1/2" | 1/2" | STAINLESS STEEL SINK FLOOR MTD, WITH HOSE AND YOKE, 1.5 GPM. |
| R | REFRIGERATOR. | -- | -- | 1/2" | -- | WALL MOUNTED BOX WITH VALVE AND FLEX CONNECTION. |
| WM | WASHER MACHINE. | 3" | 2" | 1/2" | 1/2" | WALL MTD, RECESSED BOX WITH 2" TRAP, VALVED WATER CONNECTION. |
| HB | HOSE BIBB. | -- | -- | 3/4" | -- | .VACUUM BREAKER |

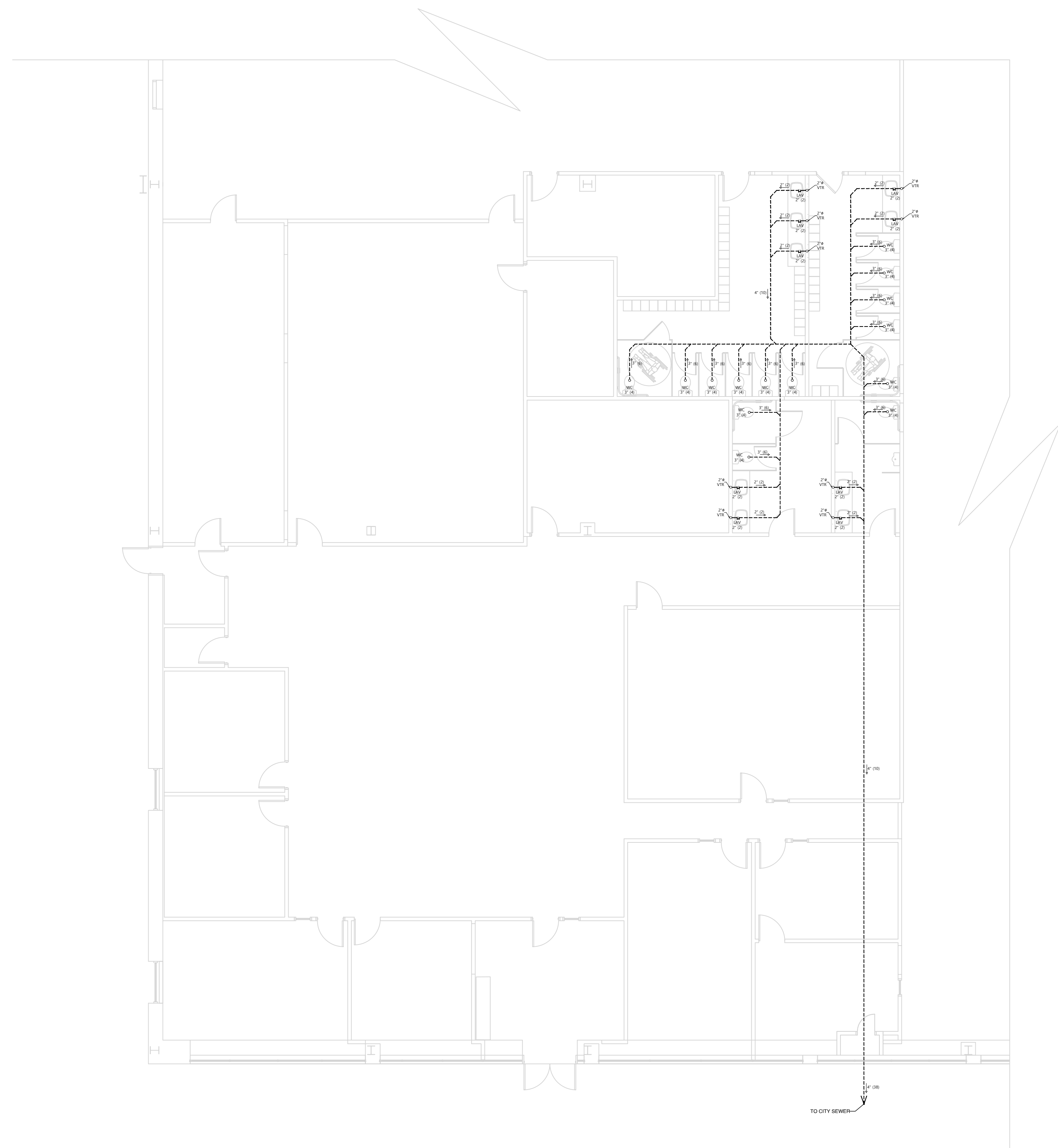
STAMP

PROJECT FOR
330 S WARMINSTER RD.
HATBORO, PA
 REMODELING AND RENOVATION OF
 EXISTING COMMERCIAL SUITE 340B

| NO. | REVISION |
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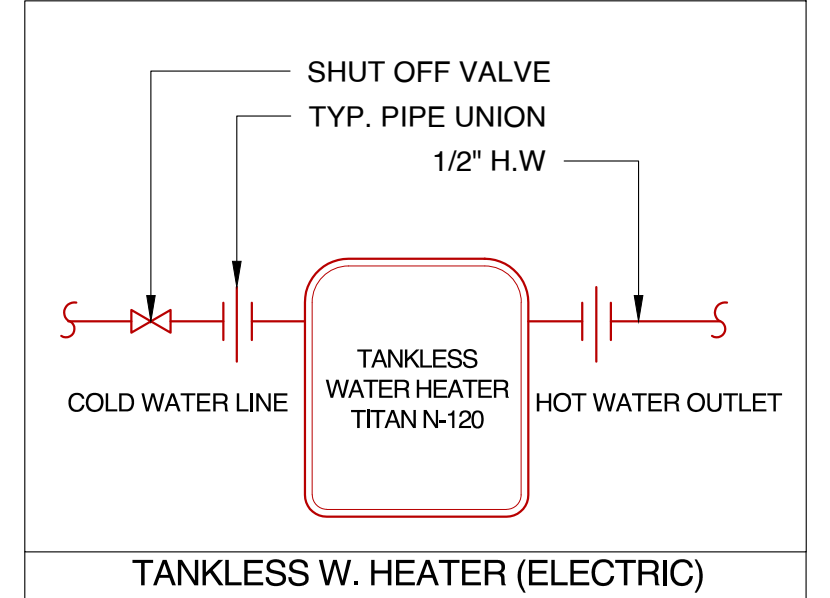
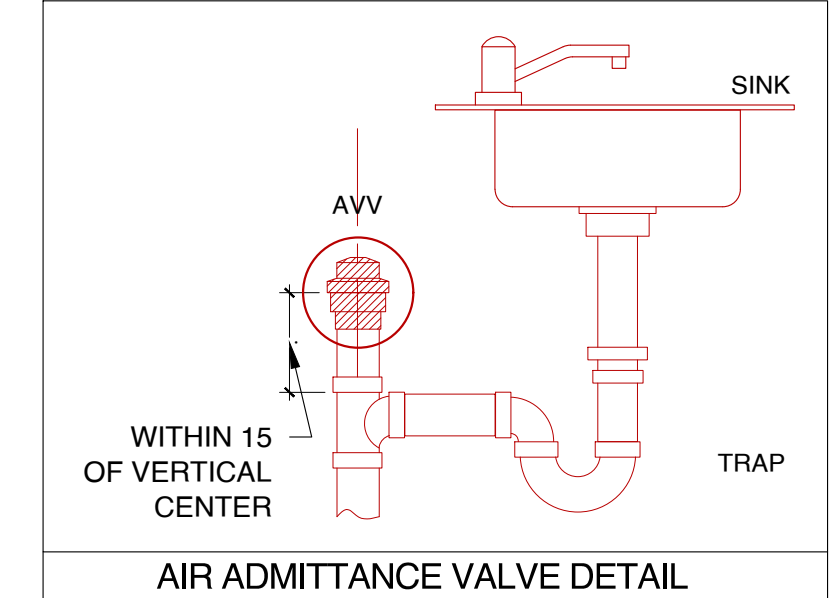
P1.0



PROPOSED
SEWER PLAN
 SCALE : 1/8" = 1'-0"

| PLUMBING LEGEND | |
|-----------------|-------------------------|
| SYMBOL | DESCRIPTION |
| | COLD WATER (C.W.) LINE. |
| | HOT WATER (H.W.) LINE. |
| | SANITARY SEWER LINE. |
| | GATE VALVE. |
| | FLOOR CLEAN-OUT. |
| | CLEAN-OUT TO GRADE. |
| CW | COLD WATER. |
| HW | HOT WATER. |
| VTR | VENT THRU ROOF. |
| VTW | VENT THRU WALL. |

PLUMBING NOTE
 1- ALL SANITARY LINES SHALL BE SLOPED AS FOLLOWS:
 2" OR SMALLER SHALL BE SLOPED AT 1/4" PER FT.
 3" OR LARGER SHALL BE SLOPED AT 1/8" PER FT.



| PLUMBING FIXTURE CONNECTION SCHEDULE | | | | | | |
|--------------------------------------|-----------------------|-------|------|------|------|---|
| MARK | DESCRIPTION | WASTE | VENT | C.W. | H.W. | REMARKS / SPECS |
| WC | WATER CLOSET. | 3" | 2" | 3/4" | -- | FLOOR MOUNTED, TANK TYPE, 1.28 GPF. |
| LAV | LAVATORY. | 2" | 2" | 1/2" | -- | COUNTER TOP, 1.5 GPM. |
| SW | SHOWER. | 2" | 2" | 1/2" | 1/2" | ANTI-SCALDING VALVE, 1.5 GPM HEAD |
| DW | DISHWASHER. | 3/4" | -- | 1/2" | 1/2" | 1-1/2" INDIRECT WASTE LINE. |
| 2CSK | TWO COMPARTMENT SINK. | 2" | 2" | 1/2" | 1/2" | WALL MTD. 1.5 GPM. |
| JSK | JANITOR SINK. | 2" | 2" | 1/2" | 1/2" | STAINLESS STEEL SINK FLOOR MTD. WITH HOSE AND YOKE, 1.5 GPM. |
| R | REFRIGERATOR. | -- | -- | 1/2" | -- | WALL MOUNTED BOX WITH VALVE AND FLEX CONNECTION. |
| WM | WASHER MACHINE. | 3" | 2" | 1/2" | 1/2" | WALL MTD. RECESSED BOX WITH 2" TRAP, VALVED WATER CONNECTION. |
| HB | HOSE BIBB. | -- | -- | 3/4" | -- | .VACUUM BREAKER |

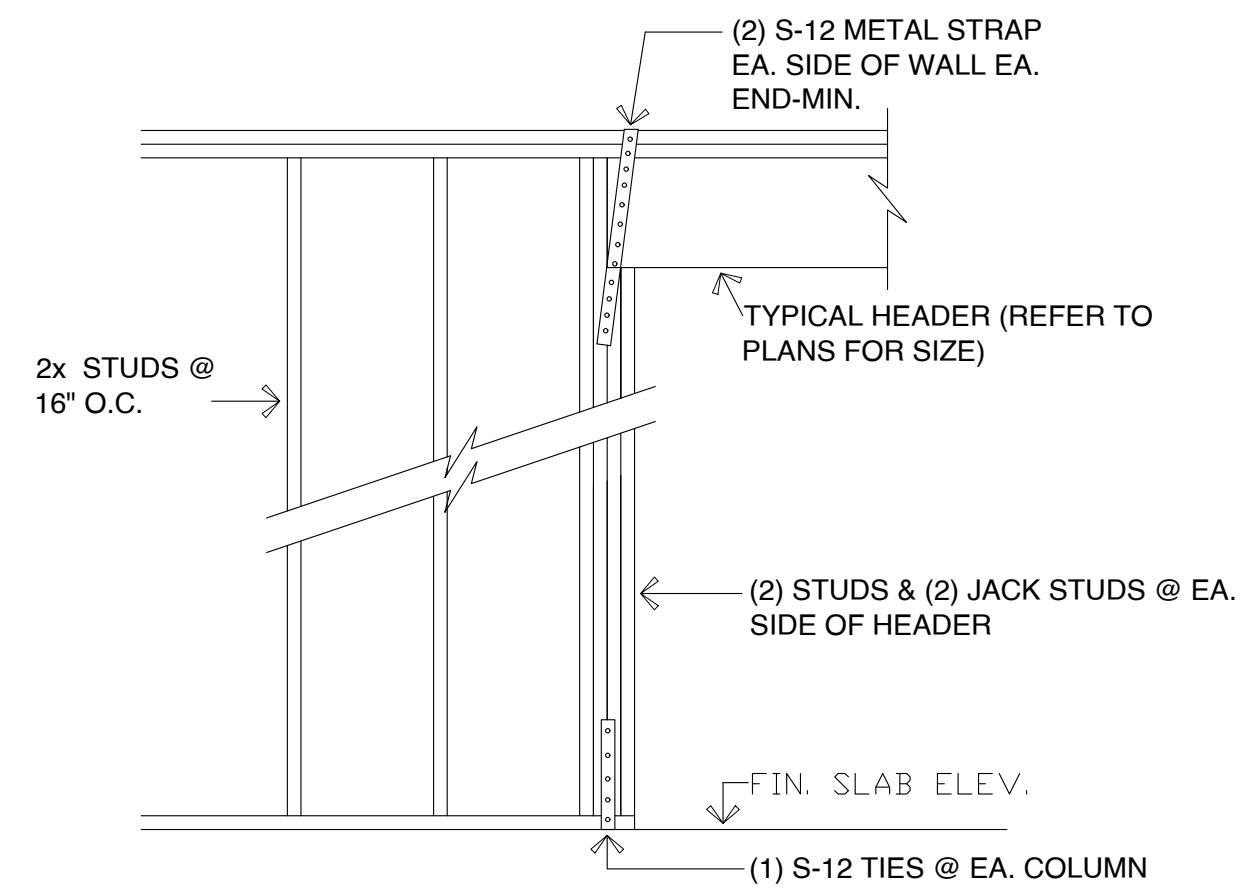
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PROJECT FOR
330 S WARMINSTER RD.
HATBORO, PA
 REMODELING AND RENOVATION OF
 EXISTING COMMERCIAL SUITE 340B

| NO. | REVISION |
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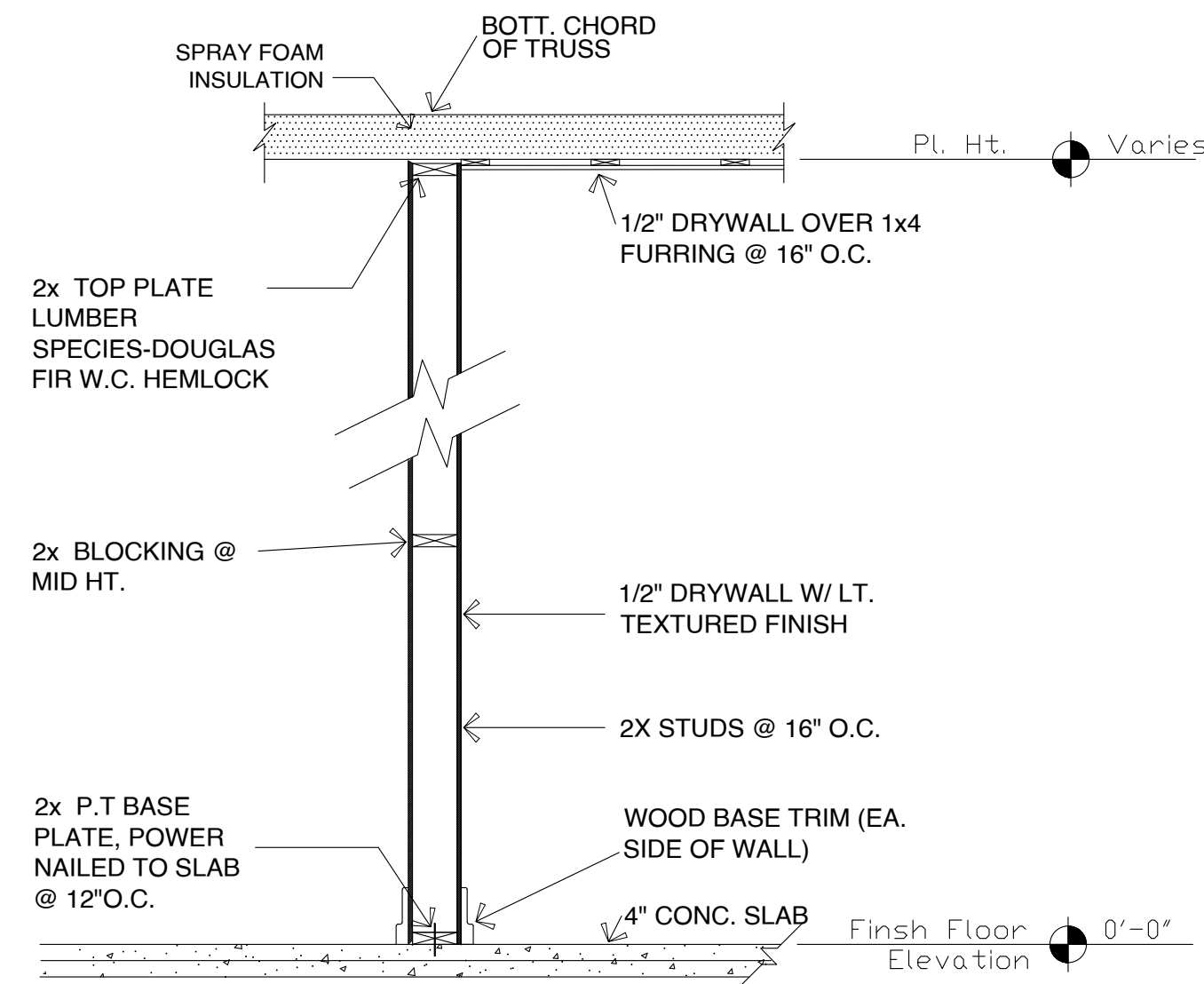
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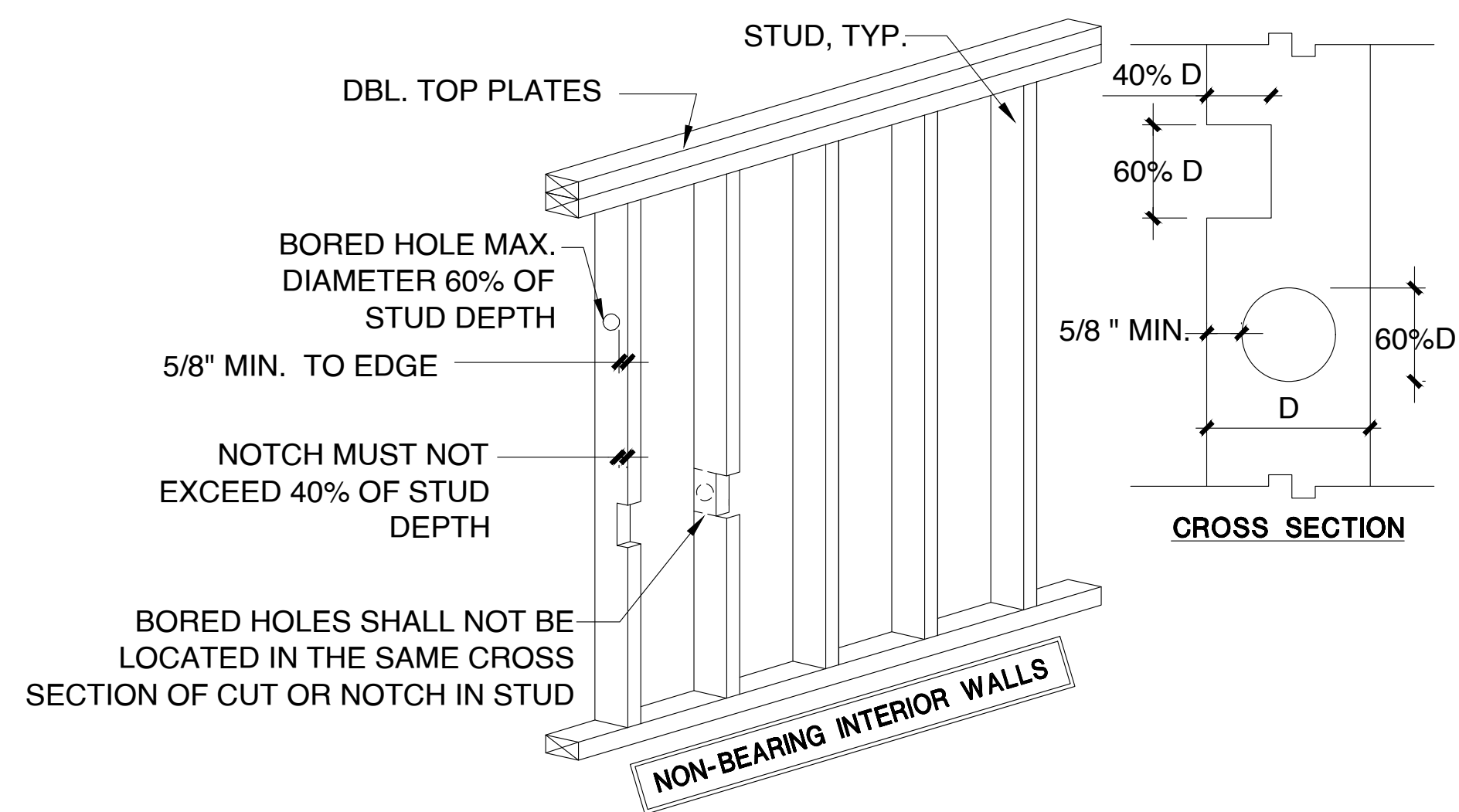
HEADER DETAIL

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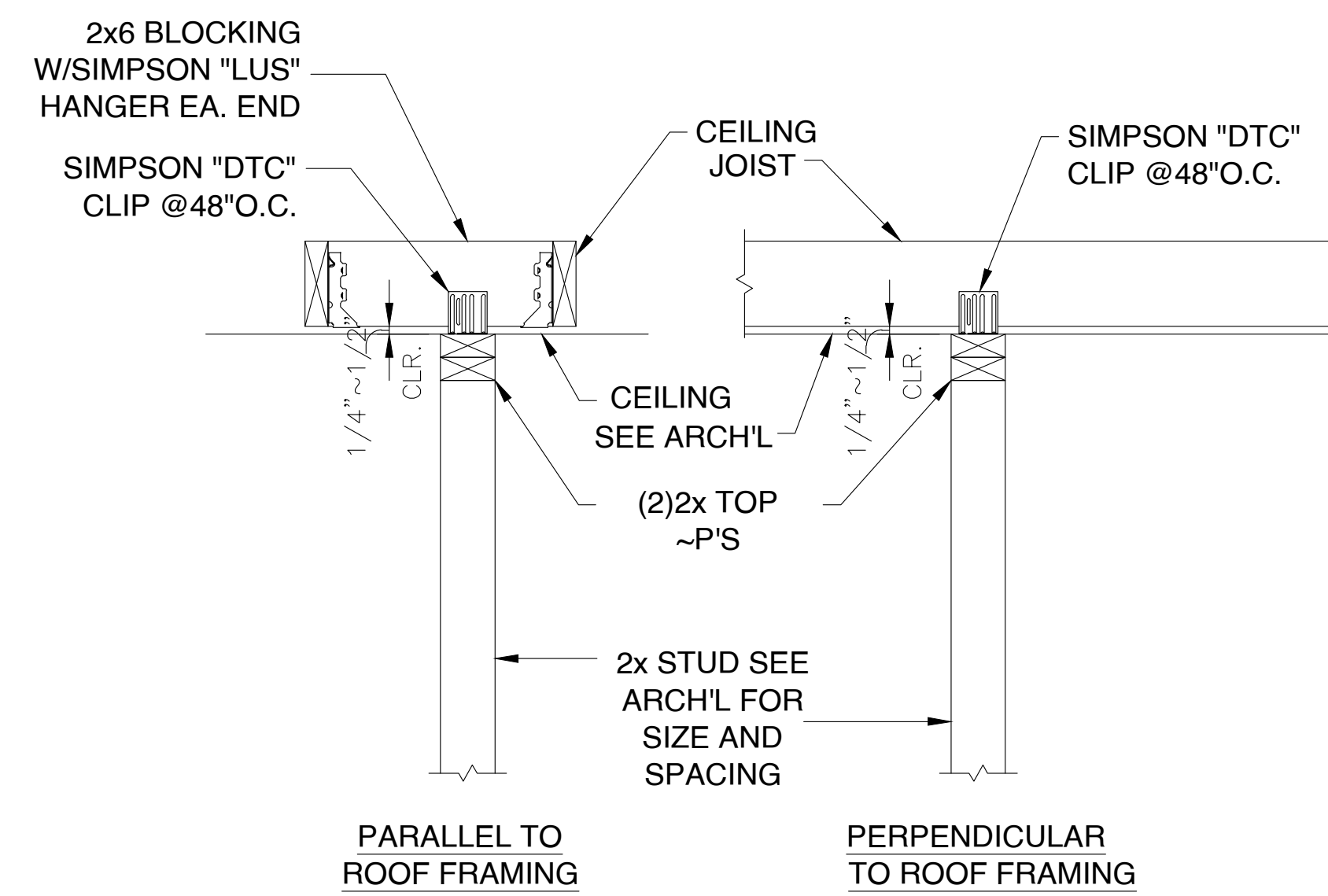
TYPICAL INTERIOR PARTITION SECTION

Scale: NTS



STUD NOTCHING AND BORING

Scale: NTS



TYPICAL NON-BEARING PARTITION WALL AT ROOF FRAMING DETAIL

Scale: NTS

STAMP

PROJECT FOR
330 S WARMINSTER RD.
HATBORO, PA
 REMODELING AND RENOVATION OF
 EXISTING COMMERCIAL SUITE 340B

| NO. | REVISION |
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DRAWING NO.:

DATE:

DRAWN BY:

SHEET:

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