

**GENERAL NOTES**

- BUILDING CODES & STANDARDS**  
ALL CONSTRUCTION SHALL COMPLY WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC) WHICH ADOPTS AND AMENDS THE FOLLOWING CURRENT CODES:  
2021 INTERNATIONAL RESIDENTIAL CODE (IRC) – RESIDENTIAL DESIGN, FOUNDATIONS, FRAMING, AND LIFE SAFETY  
2021 INTERNATIONAL BUILDING CODE (IBC) – WHERE APPLICABLE  
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) – ENERGY EFFICIENCY REQUIREMENTS  
2021 INTERNATIONAL MECHANICAL CODE (IMC) – HVAC SYSTEMS  
2021 INTERNATIONAL PLUMBING CODE (IPC) – PLUMBING SYSTEMS  
2021 NATIONAL ELECTRICAL CODE (NEC / NFPA 70) – ELECTRICAL SYSTEMS  
VIRGINIA STATE & LOCAL AMENDMENTS – INCLUDING CLIMATE, WIND, AND STORMWATER PROVISIONS  
ALL WORK SHALL CONFORM TO APPLICABLE COUNTY AND LOCAL AMENDMENTS IN EFFECT AT THE TIME OF PERMIT ISSUANCE.
- PERMITTING REQUIREMENTS**  
OBTAIN ALL REQUIRED BUILDING PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PERMIT SUBMISSIONS SHALL INCLUDE:  
SITE PLAN SHOWING BUILDING LOCATION, SETBACKS, AND UTILITIES  
ARCHITECTURAL FLOOR PLANS, ELEVATIONS, AND SECTIONS  
STRUCTURAL DRAWINGS AND CALCULATIONS (AS REQUIRED)  
ENERGY COMPLIANCE DOCUMENTATION PER IECC  
SEPARATE PERMITS MAY BE REQUIRED FOR ELECTRICAL, PLUMBING, MECHANICAL, GRADING, AND DRIVEWAY ACCESS.
- ZONING, SETBACKS & LOT COMPLIANCE**  
CONSTRUCTION SHALL COMPLY WITH LOCAL ZONING ORDINANCES, INCLUDING:  
FRONT, SIDE, AND REAR YARD SETBACKS  
MAXIMUM BUILDING HEIGHT  
LOT COVERAGE AND FLOOR AREA LIMITATIONS  
CONTRACTOR IS RESPONSIBLE FOR VERIFYING ZONING COMPLIANCE PRIOR TO CONSTRUCTION.
- INSPECTIONS**  
REQUIRED INSPECTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO:  
FOOTING AND FOUNDATION INSPECTION  
FRAMING INSPECTION  
ROUGH ELECTRICAL, PLUMBING, AND MECHANICAL INSPECTIONS  
INSULATION AND ENERGY COMPLIANCE INSPECTION  
FINAL BUILDING INSPECTION PRIOR TO OCCUPANCY  
NO WORK SHALL PROCEED BEYOND INSPECTION STAGES WITHOUT APPROVAL FROM THE AUTHORITY HAVING JURISDICTION (AHJ).
- STRUCTURAL & DESIGN REQUIREMENTS**  
THE STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH 2021 IRC STRUCTURAL PROVISIONS.  
FOUNDATIONS, FRAMING, AND ROOF SYSTEMS SHALL BE ENGINEERED TO RESIST LOCAL WIND LOADS AND SITE CONDITIONS.  
ANY STRUCTURE EXCEEDING TWO STORIES OR 600 SQ. FT., OR LOCATED ON CHALLENGING SOIL CONDITIONS, MAY REQUIRE ENGINEERED FOUNDATION DESIGN AND SOIL EVALUATION. ALL LOAD-BEARING ELEMENTS SHALL BE CONSTRUCTED PER APPROVED PLANS.
- ENERGY & WEATHER RESISTANCE**  
BUILDING ENVELOPE, INSULATION, WINDOWS, AND HVAC SYSTEMS SHALL MEET IECC 2021 REQUIREMENTS.  
CONTINUOUS WEATHER-RESISTANT BARRIERS SHALL BE PROVIDED TO PROTECT AGAINST MOISTURE INTRUSION.  
STORMWATER RUNOFF SHALL BE MANAGED IN ACCORDANCE WITH VIRGINIA AND LOCAL STORMWATER REGULATIONS.
- FIRE SAFETY & LIFE SAFETY**  
INSTALL SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE SLEEPING AREAS, AND ON EACH STORY, PER IRC R314.  
INSTALL CARBON MONOXIDE ALARMS WHERE FUEL-BURNING APPLIANCES OR ATTACHED GARAGES EXIST, PER IRC R315.  
FIRE-RESISTANCE RATINGS BETWEEN GARAGE AND DWELLING SHALL COMPLY WITH IRC R302.
- EGRESS & SAFETY REQUIREMENTS**  
ALL SLEEPING ROOMS SHALL BE PROVIDED WITH EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.  
STAIRWAYS, HANDRAILS, GUARDS, AND EXITS SHALL COMPLY WITH IRC SAFETY STANDARDS. DOOR AND WINDOW SAFETY GLAZING SHALL COMPLY WITH IRC R308.
- ACCESSIBILITY (IF APPLICABLE)**  
WHERE ACCESSIBILITY FEATURES ARE REQUIRED BY LAW OR OWNER REQUEST, DESIGN SHALL FOLLOW APPLICABLE ADA AND VIRGINIA ACCESSIBILITY PROVISIONS.
- GENERAL CONSTRUCTION RESPONSIBILITY**  
CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.  
ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGNER BEFORE PROCEEDING.  
ALL MATERIALS AND WORKMANSHIP SHALL MEET OR EXCEED CODE-MINIMUM STANDARDS.

**FIRE PROTECTION**

- SMOKE ALARMS**  
SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, AND ON EVERY LEVEL OF THE DWELLING, INCLUDING BASEMENTS.  
SMOKE ALARMS SHALL BE INTERCONNECTED, SUCH THAT ACTIVATION OF ONE ALARM ACTIVATES ALL ALARMS THROUGHOUT THE DWELLING.  
SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC) AND 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) SECTION R314.
- CARBON MONOXIDE (CO) ALARMS**  
CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLINGS CONTAINING FUEL-FIRED APPLIANCES, FIREPLACES, OR ATTACHED GARAGES.  
CO ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF BEDROOMS, AND ON EACH LEVEL OF THE DWELLING, INCLUDING BASEMENTS.  
CO ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INSTALLED IN COMPLIANCE WITH IRC SECTION R315 AND USBC REQUIREMENTS.

**GENERAL REQUIREMENTS**

- STRUCTURAL NOTES**  
**I. SEISMIC DESIGN**  
VIRGINIA IS CLASSIFIED AS A LOW SEISMIC REGION.  
DESIGN SHALL COMPLY WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC) AND THE 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) FOR SEISMIC DESIGN CATEGORY A OR B, AS DETERMINED BY SITE LOCATION AND SOIL CONDITIONS.  
SEISMIC DETAILING SHALL BE PROVIDED WHERE REQUIRED BY CODE.  
**II. WIND LOAD DESIGN**  
THE STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH ASCE 7 (AS REFERENCED BY THE 2021 IRC/IBC) FOR LOCAL WIND SPEEDS.  
DESIGN WIND SPEED SHALL BE BASED ON SITE-SPECIFIC WIND MAPS (TYPICALLY 115-120 MPH, ULTIMATE WIND SPEED) OR AS REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ).  
PROVIDE CONTINUOUS LOAD PATH FROM ROOF TO FOUNDATION, INCLUDING:  
HURRICANE CLIPS OR STRAPS AT ROOF-TO-WALL CONNECTIONS  
APPROVED ANCHORAGE AT WALL-TO-FOUNDATION CONNECTIONS  
**III. FOUNDATION DRAINAGE**  
PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION.  
WHERE SOIL CONDITIONS, SLOPES, OR GROUNDWATER INDICATE POTENTIAL WATER INTRUSION, INSTALL A PERIMETER FOUNDATION DRAINAGE SYSTEM IN ACCORDANCE WITH IRC R405.  
FOUNDATION WATERPROOFING OR DAMPPROOFING SHALL BE PROVIDED AS REQUIRED BY SITE CONDITIONS.  
**IV. CONCRETE CONTROL JOINTS**  
CONSTRUCTION SHALL COMPLY WITH AND/OR EXPANSION JOINTS IN CONCRETE SLABS, WALKS, AND DRIVEWAYS TO LIMIT CRACKING DUE TO SHRINKAGE AND THERMAL MOVEMENT.  
JOINT SPACING AND LAYOUT SHALL COMPLY WITH INDUSTRY STANDARDS AND STRUCTURAL RECOMMENDATIONS.
- EXTERIOR NOTES**  
**I. EXTERIOR WALL MATERIALS**  
EXTERIOR WALL ASSEMBLIES SHALL UTILIZE DURABLE, WEATHER-RESISTANT MATERIALS SUITABLE FOR THE LOCAL CLIMATE.  
ACCEPTABLE MATERIALS MAY INCLUDE BRICK VENEER, STONE VENEER, FIBER-CEMENT SIDING, OR OTHER APPROVED CLADDING SYSTEMS.  
PROVIDE A CONTINUOUS WEATHER-RESISTIVE BARRIER (WRB) BEHIND EXTERIOR CLADDING PER IRC R703.  
**II. ROOFING**  
ROOFING MATERIALS SHALL COMPLY WITH IRC REQUIREMENTS AND LOCAL WIND RESISTANCE STANDARDS.  
ROOF COVERING SHALL BE RATED FOR THE APPLICABLE WIND EXPOSURE AND INSTALLED PER MANUFACTURER SPECIFICATIONS.  
ROOF PITCH, FORM, AND MATERIALS SHALL BE COMPATIBLE WITH THE OVERALL ARCHITECTURAL DESIGN OF THE RESIDENCE.  
**III. DRIVEWAY ACCESS**  
DRIVEWAY CONSTRUCTION OR MODIFICATIONS SHALL COMPLY WITH LOCAL PUBLIC WORKS AND ZONING REQUIREMENTS.  
PROVIDE PROPER GRADING AND DRAINAGE TO PREVENT RUNOFF ONTO ADJACENT PROPERTIES OR PUBLIC RIGHTS-OF-WAY.  
STORMWATER RUNOFF SHALL BE MANAGED IN ACCORDANCE WITH LOCAL REGULATIONS.
- UTILITY-SPECIFIC NOTES**  
**I. WATER CONSERVATION / RAINWATER MANAGEMENT**  
WATER CONSERVATION PRACTICES ARE ENCOURAGED.  
RAINWATER COLLECTION SYSTEMS OR OTHER STORMWATER MANAGEMENT MEASURES MAY BE INCORPORATED, SUBJECT TO LOCAL APPROVAL.  
ALL SYSTEMS SHALL COMPLY WITH APPLICABLE PLUMBING AND HEALTH REGULATIONS.  
**II. ELECTRICAL PANEL LOCATION**  
ELECTRICAL SERVICE PANELS SHALL BE INSTALLED IN AN ACCESSIBLE, DRY, AND PROTECTED LOCATION.  
PANELS SHALL PROVIDE ADEQUATE CAPACITY FOR CURRENT LOADS AND REASONABLE FUTURE EXPANSION, IN COMPLIANCE WITH NEC (NFPA 70) AND LOCAL UTILITY REQUIREMENTS.  
**III. GAS LINES (IF APPLICABLE)**  
GAS PIPING SYSTEMS SHALL COMPLY WITH THE INTERNATIONAL FUEL GAS CODE (IFGC) AS ADOPTED BY VIRGINIA.  
PROVIDE READILY ACCESSIBLE SHUT-OFF VALVES AT REQUIRED LOCATIONS.  
ALL GAS INSTALLATIONS SHALL BE INSPECTED AND APPROVED BY THE AHJ PRIOR TO OPERATION.

**SCOPE OF WORK**

NEW CONSTRUCTION OF TWO STORY HOUSE  
@ 42621 SPINKS FERRY RD, VA

**PROPERTY INFORMATION**

APN: 139471787000  
ADDRESS: 42621 SPINKS FERRY RD, VA  
PROPERTY TYPE: SINGLE FAMILY RESIDENTIAL  
ZONING: AP-1  
MUNICIPALITY NAME: LEESBURG  
OCCUPANCY RATING: --

**BUILDING DESCRIPTION**

LIVING AREA: 3,582 SQFT  
BEDROOM / BATH: 44.5  
STORIES: 2  
LOT AREA: 3.46 ACRES  
YEAR BUILT: --

**STRUCTURE**

- S1.0 PROPOSED FOUNDATION PLAN
- S2.0 PROPOSED FLOOR FRAMING PLAN
- S2.1 PROPOSED FLOOR FRAMING PLAN
- S3.0 PROPOSED ROOF FRAMING PLAN
- S4.0 STRUCTURE DETAIL

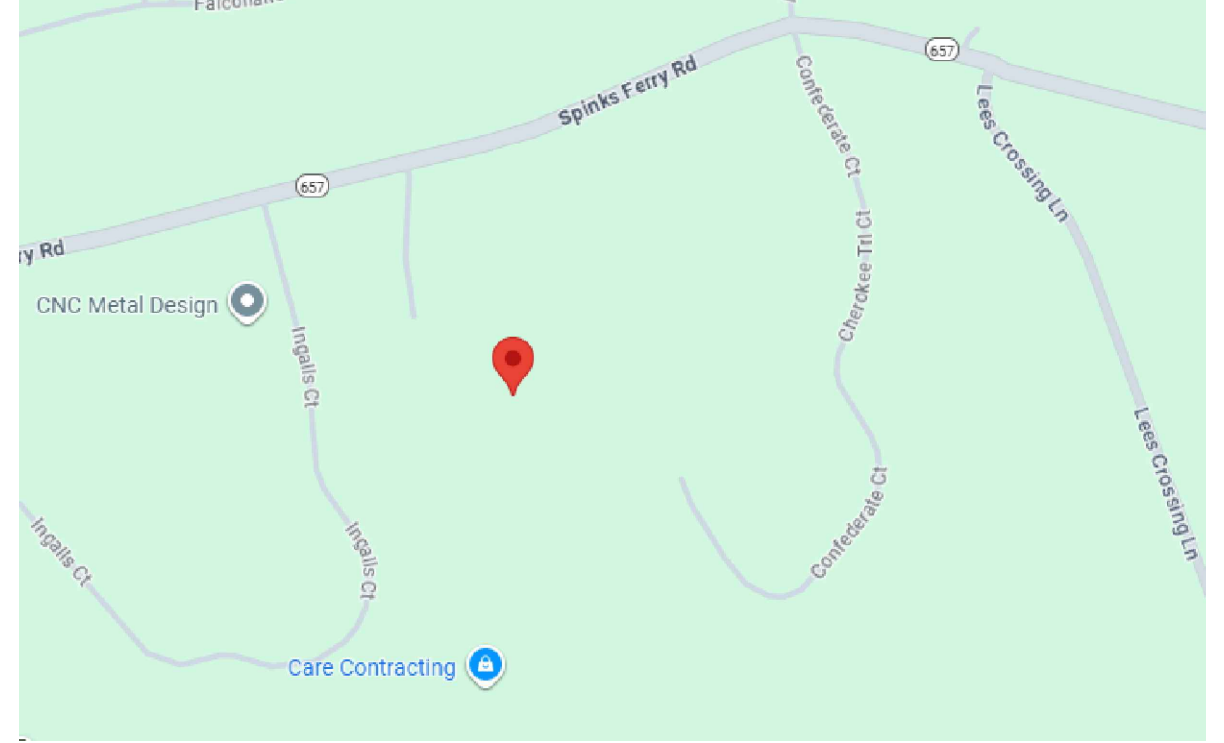
**SHEET INDEX**

- ARCHITECTURE**
- A0.0 COVER SHEET
  - A0.1 SITE PLAN
  - A1.0 PROPOSED FLOOR PLAN
  - A1.1 PROPOSED FLOOR PLAN
  - A1.2 PROPOSED FLOOR PLAN
  - A2.0 PROPOSED ROOF PLAN
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  - A3.1 PROPOSED EXTERIOR ELEVATION
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  - A3.3 PROPOSED EXTERIOR ELEVATION
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  - A4.1 PROPOSED SECTION VIEW
  - A5.0 CHIMNEY / STAIRS DETAIL
  - A6.0 PROPOSED DOOR & WINDOW SCHEDULE

**MEP**

- M1.0 PROPOSED HVAC PLAN
- M1.1 PROPOSED HVAC PLAN
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- M2.0 MECHANICAL DETAIL
- E1.0 PROPOSED ELECTRICAL PLAN
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- E1.2 PROPOSED ELECTRICAL PLAN
- P1.0 PROPOSED WATER SUPPLY PLAN
- P1.1 PROPOSED WATER SUPPLY PLAN
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- P2.0 PROPOSED SEWER PLAN
- P2.1 PROPOSED SEWER PLAN
- P2.2 PROPOSED SEWER PLAN

**VICINITY MAP**



**CODE COMPLIANCE**

- 2021 INTERNATIONAL BUILDING CODE (IBC)
- 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2021 INTERNATIONAL PLUMBING CODE (IPC)
- 2021 INTERNATIONAL MECHANICAL CODE (IMC)
- 2020 NATIONAL ELECTRICAL CODE (NEC) (AS ADOPTED BY VIRGINIA)
- 2021 INTERNATIONAL FIRE CODE (IFC)
- VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC) – 2021 EDITION
- VIRGINIA DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT (DHCD) REGULATIONS
- LOCAL VIRGINIA ZONING AND BUILDING ORDINANCES
- VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMMP) REGULATIONS
- VIRGINIA WATER CONTROL LAW & LOCAL FLOODPLAIN MANAGEMENT ORDINANCES
- WIND LOAD AND SNOW LOAD DESIGN CRITERIA PER ASCE 7 (AS REFERENCED BY THE 2021 IBC/IRC FOR VIRGINIA)

**RESIDENTIAL REQUIREMENTS CHECKLIST**

- CONCRETE STRENGTH**  
PROVIDE MINIMUM 2,500 PSI CONCRETE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED BY STRUCTURAL DESIGN.  
CONCRETE PLACEMENT AND CURING SHALL COMPLY WITH 2021 IRC SECTION R402 AND APPROVED STRUCTURAL DRAWINGS.
- STEEL REINFORCEMENT**  
USE GRADE 60 DEFORMED REINFORCING STEEL FOR ALL REINFORCED CONCRETE ELEMENTS.  
REINFORCEMENT SIZE, SPACING, AND PLACEMENT SHALL FOLLOW THE ENGINEERED STRUCTURAL PLANS AND APPLICABLE IRC PROVISIONS.
- ANCHOR BOLTS**  
PROVIDE ASTM A307 ANCHOR BOLTS FOR WALL-TO-FOUNDATION CONNECTIONS. MINIMUM 1/2-INCH DIAMETER, EMBEDDED 7 INCHES, SPACED NOT MORE THAN 6 FEET ON CENTER, WITH BOLTS WITHIN 12 INCHES OF PLATE ENDS, PER IRC R403.1.6.
- LUMBER REQUIREMENTS**  
ALL FRAMING LUMBER SHALL BE NO. 2 SOUTHERN PINE OR BETTER, UNLESS NOTED OTHERWISE ON PLANS.  
FRAMING SHALL COMPLY WITH 2021 IRC CHAPTERS 5, 6, AND 8 FOR FLOORS, WALLS, AND ROOFS.
- EXTERIOR WALL FINISHES (IF APPLICABLE)**  
EXTERIOR WALL SYSTEMS SHALL INCLUDE A CODE-COMPLIANT WEATHER-RESISTIVE BARRIER BEHIND SIDING OR CLADDING.  
INSTALLATION SHALL COMPLY WITH IRC R703 AND MANUFACTURER REQUIREMENTS.
- EROSION & SEDIMENT CONTROL**  
IMPLEMENT EROSION CONTROL MEASURES SUCH AS SILT FENCING AND STABILIZED CONSTRUCTION ENTRANCES.  
PREVENT SEDIMENT AND POLLUTANTS FROM LEAVING THE SITE IN ACCORDANCE WITH VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMMP) REQUIREMENTS.
- CONSTRUCTION WASTE MANAGEMENT**  
STORE CONSTRUCTION DEBRIS IN COVERED CONTAINERS TO PREVENT WIND OR RUNOFF DISPERSAL.  
DISPOSE OF WASTE, EXCESS CONCRETE, AND HAZARDOUS MATERIALS PER LOCAL AND STATE REGULATIONS.
- HAZARDOUS & TOXIC MATERIALS STORAGE**  
STORE FUELS, OILS, AND SOLVENTS IN APPROVED, WEATHER-RESISTANT CONTAINERS. SPILLS SHALL BE CLEANED IMMEDIATELY TO PREVENT CONTAMINATION OF SOIL OR DRAINAGE SYSTEMS.
- ZONING & LOT COVERAGE**  
VERIFY COMPLIANCE WITH LOCAL ZONING ORDINANCES FOR SETBACKS, BUILDING HEIGHT, AND LOT COVERAGE.  
ENSURE THE PROPOSED DWELLING DOES NOT EXCEED ALLOWABLE LIMITS FOR THE ZONING DISTRICT.
- ENERGY CODE COMPLIANCE (IECC – VIRGINIA)**  
WALLS: MINIMUM R-13 INSULATION (OR EQUIVALENT ASSEMBLY).  
CEILINGS/ROOF: MINIMUM R-38 INSULATION.  
FENESTRATION: MAXIMUM U-FACTOR 0.32 FOR WINDOWS AND EXTERIOR DOORS.  
COMPLY WITH THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AS ADOPTED BY VIRGINIA.
- FIRE SAFETY & SEPARATION**  
PROVIDE MINIMUM 1-HOUR FIRE-RESISTANCE-RATED SEPARATION BETWEEN GARAGE AND DWELLING, WHERE APPLICABLE, PER IRC R302.  
GYPSUM BOARD THICKNESS AND ASSEMBLIES SHALL COMPLY WITH IRC REQUIREMENTS.
- ELECTRICAL CODE REQUIREMENTS**  
INSTALL GFCI PROTECTION IN BATHROOMS, KITCHENS, GARAGES, LAUNDRY AREAS, BASEMENTS, AND EXTERIOR OUTLETS.  
AFCI PROTECTION REQUIRED FOR ALL HABITABLE ROOMS.  
ELECTRICAL WORK SHALL COMPLY WITH THE 2020 NEC, AS ADOPTED BY VIRGINIA.
- VENTILATION & INDOOR AIR QUALITY**  
PROVIDE REQUIRED MECHANICAL VENTILATION FOR HABITABLE SPACES PER IRC CHAPTER 15 AND IMC.  
BATHROOMS AND KITCHENS SHALL EXHAUST DIRECTLY TO THE EXTERIOR.  
PERMIT DOCUMENTATION & INSPECTIONS  
ALL DRAWINGS, CALCULATIONS, AND SPECIFICATIONS SHALL COMPLY WITH THE 2021 USBC, IRC, IBC, IECC, IMC, IPC, AND NEC.  
REQUIRED INSPECTIONS SHALL BE COMPLETED AT FOOTING, FOUNDATION, FRAMING, ROUGH-IN, AND FINAL STAGES.
- EMERGENCY EGRESS & RESCUE OPENINGS**  
ALL SLEEPING ROOMS SHALL BE PROVIDED WITH EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.  
MINIMUM NET CLEAR OPENING: 5.7 SQ. FT. (SECOND FLOOR), MINIMUM HEIGHT 24 INCHES, MINIMUM WIDTH 20 INCHES, MAXIMUM SILL HEIGHT 44 INCHES ABOVE FLOOR.



STAMP

NEW CONSTRUCTION OF TWO STORY HOUSE

NO.	REVISION

DRAWING NO.:

DATE:

DRAWN BY:

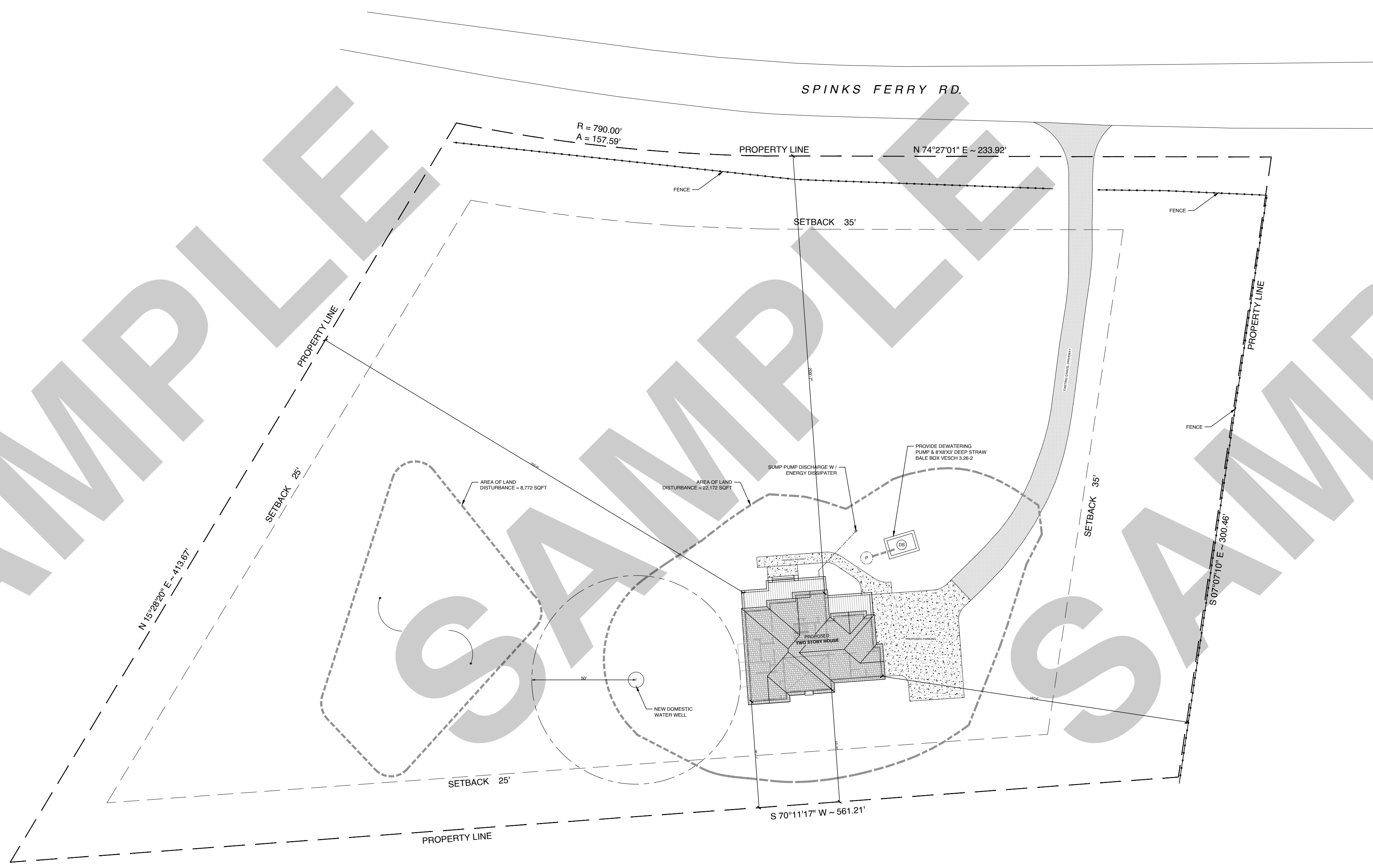
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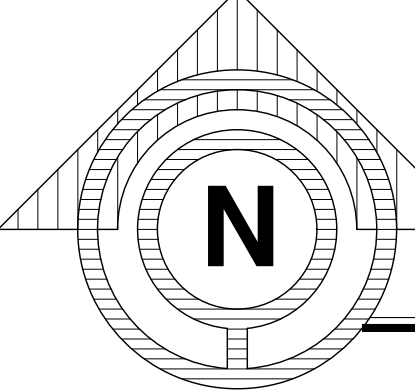
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SAMPLE

SAMPLE

SAMPLE




**PROPOSED  
SITE PLAN**  
 SCALE : 1/32" = 1'-0"

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

NO.	REVISION

DRAWING NO.:

DATE:

DRAWN BY:

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**ARCHITECTURAL NOTES**

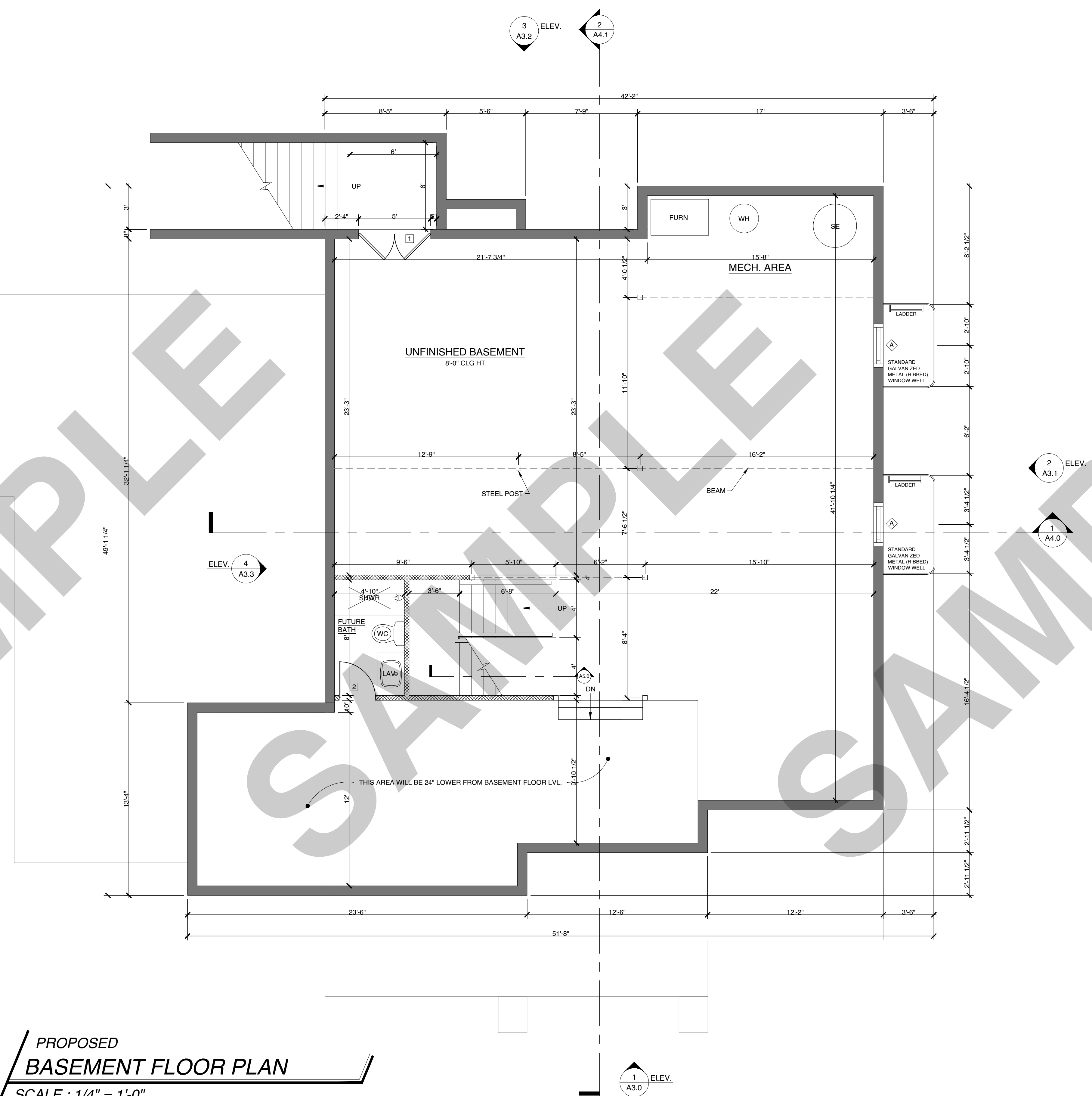
- SHOWER ENCLOSURES**  
SHOWER AND TUB/SHOWER WALLS SHALL BE FINISHED WITH NON-ABSORBENT, MOISTURE-RESISTANT MATERIALS EXTENDING A MINIMUM OF 72 INCHES ABOVE THE FINISHED FLOOR, PER IRC R307.  
WHERE GLAZING IS PROVIDED, APPROVED SAFETY GLAZING SHALL BE USED IN ACCORDANCE WITH IRC R308.
- SHOWER STALL SIZE**  
SHOWER COMPARTMENTS SHALL HAVE A MINIMUM INTERIOR AREA OF 1,024 SQUARE INCHES AND BE CAPABLE OF ENCLOSING A 30-INCH DIAMETER CIRCLE, PER IRC R307.1.  
SHOWER DOORS SHALL SWING OUTWARD OR BE REMOVABLE FOR EMERGENCY ACCESS.
- WATER EFFICIENCY FIXTURES**  
PLUMBING FIXTURES SHALL COMPLY WITH VIRGINIA PLUMBING CODE AND IECC EFFICIENCY REQUIREMENTS, INCLUDING:  
TOILETS: MAXIMUM 1.28 GPF  
SHOWERHEADS: MAXIMUM 2.0 GPM @ 80 PSI  
LAVATORY FAUCETS: MAXIMUM 2.0 GPM @ 60 PSI  
FIXTURES SHALL COMPLY WITH IRC P2004 / IPC.
- TEMPERATURE CONTROL VALVES**  
SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE-BALANCING OR THERMOSTATIC MIXING VALVES TO PREVENT SCALDING, PER IRC P2708.4 / IPC 424.3.
- EXTERIOR WALL FINISHES**  
ALL EXTERIOR WALL ASSEMBLIES SHALL INCLUDE A CODE-COMPLIANT WEATHER-RESISTIVE BARRIER (WRB) BEHIND SIDING OR CLADDING.  
INSTALLATION SHALL COMPLY WITH IRC R703 AND MANUFACTURER'S INSTALLATION REQUIREMENTS.  
(BRICK & STONE VENEER ONLY WHERE SPECIFICALLY NOTED ON THE CONSTRUCTION DRAWINGS.)
- DUCT SIZING & INSTALLATION**  
HVAC DUCTWORK SHALL BE SIZED, SEALED, AND INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL MECHANICAL CODE (IMC) AND IRC CHAPTER 16.  
DUCTS LOCATED OUTSIDE CONDITIONED SPACE SHALL BE INSULATED PER IECC REQUIREMENTS.
- CLOTHES DRYER EXHAUST**  
DRYER EXHAUST DUCTS SHALL TERMINATE OUTDOORS AND SHALL NOT EXCEED 35 FEET IN TOTAL DEVELOPED LENGTH.  
REDUCE ALLOWABLE LENGTH BY 5 FEET FOR EACH ELBOW, UNLESS OTHERWISE PERMITTED BY THE MANUFACTURER, PER IRC M1502.4.
- SKYLIGHTS (IF PROVIDED)**  
SKYLIGHTS SHALL BE LISTED AND LABELED BY AN APPROVED TESTING AGENCY AND COMPLY WITH IRC R309 AND IECC FENESTRATION REQUIREMENTS.
- ULTRA-LOW CONSUMPTION FIXTURES**  
ALL PLUMBING FIXTURES INSTALLED IN NEW CONSTRUCTION SHALL COMPLY WITH LOW-CONSUMPTION STANDARDS PER THE VIRGINIA PLUMBING CODE AND IECC.
- UTILITY CLEARANCES**  
MAINTAIN A MINIMUM 36-INCH CLEAR WORKING SPACE IN FRONT OF ELECTRICAL PANELS, PER NEC 110.26.  
PROVIDE REQUIRED CLEARANCES AROUND GAS METERS, WATER METERS, AND MECHANICAL EQUIPMENT PER UTILITY PROVIDER AND AHJ REQUIREMENTS.
- WATER HEATER INSTALLATION**  
WATER HEATERS SHALL BE INSTALLED IN ACCORDANCE WITH THE VIRGINIA PLUMBING CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.  
PROVIDE DRAIN PANS AND DISCHARGE PIPING WHERE REQUIRED.
- SANITARY SEWER CONNECTION**  
ALL PLUMBING FIXTURES SHALL BE CONNECTED TO AN APPROVED SANITARY SEWER SYSTEM OR PERMITTED ON-SITE SEWAGE DISPOSAL SYSTEM, PER THE VIRGINIA PLUMBING CODE.
- HOT & COLD WATER SUPPLY**  
ALL REQUIRED FIXTURES, INCLUDING KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, AND LAUNDRY CONNECTIONS, SHALL BE SUPPLIED WITH BOTH HOT AND COLD POTABLE WATER.
- NON-ABSORBENT BATHROOM SURFACES**  
BATHTUB AND SHOWER FLOORS, WALLS ABOVE TUBS WITH SHOWERHEADS, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH NON-ABSORBENT MATERIALS EXTENDING A MINIMUM OF 6 FEET ABOVE THE FINISHED FLOOR, PER IRC R307.2.
- LIGHTING REQUIREMENTS**  
ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT THROUGH EXTERIOR GLAZING OR APPROVED ARTIFICIAL LIGHTING.  
ARTIFICIAL LIGHTING SHALL PROVIDE A MINIMUM AVERAGE ILLUMINATION OF 8 FOOT-CANDLES MEASURED 30 INCHES ABOVE THE FLOOR, PER IRC R303.
- EVALUATION REPORTS**  
WHERE ALTERNATE MATERIALS OR SYSTEMS ARE USED, A COPY OF THE APPLICABLE ICC-ES OR APPROVED EVALUATION REPORT SHALL BE AVAILABLE ON SITE FOR INSPECTION, PER USBC REQUIREMENTS.
- HEATING REQUIREMENTS**  
HEATING SYSTEMS SHALL BE CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F, MEASURED 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS, IN ALL HABITABLE ROOMS, PER IRC R303.10.
- WOOD PROTECTION FROM DECAY**  
WOOD IN CONTACT WITH CONCRETE OR MASONRY, OR EXPOSED TO WEATHER, SHALL BE PRESSURE-TREATED OR NATURALLY DURABLE, PER IRC R317 AND AWPA STANDARDS.
- FIRE-RATED ASSEMBLIES (WHERE REQUIRED)**  
FIRE-RESISTIVE WALL AND CEILING ASSEMBLIES SHALL BE PROVIDED WHERE REQUIRED BETWEEN THE GARAGE AND DWELLING OR NEAR PROPERTY LINES, PER IRC R302.
- GENERAL COMPLIANCE**  
ALL MATERIALS, WORKMANSHIP, AND INSTALLATIONS SHALL COMPLY WITH THE 2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC) AND ALL APPLICABLE LOCAL COUNTY AMENDMENTS.

**UTILITY NOTES**

- ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTION**  
ALL 120-VOLT, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN DWELLING UNIT HABITABLE AREAS SHALL BE PROTECTED BY AFCI DEVICES, IN ACCORDANCE WITH NEC 210.12.  
AFCI PROTECTION IS REQUIRED IN LIVING ROOMS, FAMILY ROOMS, DINING ROOMS, BEDROOMS, HALLWAYS, CLOSETS, AND SIMILAR HABITABLE SPACES.
- AFCI & GFCI COMBINATION PROTECTION**  
CIRCUITS SERVING LOCATIONS REQUIRING BOTH AFCI AND GFCI PROTECTION (SUCH AS KITCHENS, LAUNDRY AREAS, AND SIMILAR SPACES) SHALL BE PROTECTED BY LISTED COMBINATION AFCI/GFCI DEVICES, PER NEC 210.8 AND 210.12.
- TAMPER-RESISTANT RECEPTACLES**  
ALL 125-VOLT, 15- AND 20-AMP RECEPTACLES INSTALLED IN DWELLING UNITS SHALL BE TAMPER-RESISTANT, IN ACCORDANCE WITH NEC 408.12.
- LUMINAIRE AND FAN SUPPORT**  
OUTLET BOXES USED FOR CEILING-MOUNTED LUMINAIRES SHALL BE LISTED TO SUPPORT A MINIMUM OF 50 LBS, UNLESS OTHERWISE RATED, PER NEC 314.27.  
CEILING FAN OUTLET BOXES SHALL BE LISTED AND LABELED FOR FAN SUPPORT.  
WALL-MOUNTED LUMINAIRES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND CODE REQUIREMENTS.
- ENERGY EFFICIENT LIGHTING**  
ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LED FIXTURES COMPLYING WITH THE 2021 IECC AS ADOPTED BY VIRGINIA.  
LIGHTING CONTROLS SHALL BE COMPATIBLE WITH LED FIXTURES AND INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- BATHROOM LIGHTING CONTROLS**  
AT LEAST ONE LIGHTING FIXTURE IN EACH BATHROOM SHALL BE CONTROLLED BY AN OCCUPANCY SENSOR, VACANCY SENSOR, OR TIMER, IN COMPLIANCE WITH IECC RESIDENTIAL LIGHTING CONTROL REQUIREMENTS.

**ADDITIONAL NOTES**

- CEILING HEIGHTS**  
HABITABLE ROOMS, INCLUDING LIVING AREAS, BEDROOMS, KITCHENS, AND BATHROOMS, SHALL HAVE A MINIMUM CEILING HEIGHT OF 7 FEET, PER IRC R305.1.  
BEAMS, GIRDERS, AND OTHER OBSTRUCTIONS MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.  
NON-HABITABLE SPACES SUCH AS GARAGES SHALL HAVE A MINIMUM CEILING HEIGHT OF 7 FEET, WHERE APPLICABLE.
- EMERGENCY ESCAPE & RESCUE OPENINGS**  
EACH SLEEPING ROOM SHALL BE PROVIDED WITH AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING, PER IRC R310.  
**\* EMERGENCY ESCAPE WINDOWS SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:**  
NET CLEAR OPENING AREA: 5.7 SQ. FT. (5.0 SQ. FT. AT GRADE FLOOR)  
MINIMUM CLEAR HEIGHT: 24 INCHES  
MINIMUM CLEAR WIDTH: 20 INCHES  
MAXIMUM SILL HEIGHT: 44 INCHES ABOVE FINISHED FLOOR
- FIRE PROTECTION - EXTERIOR WALLS**  
EXTERIOR WALLS LOCATED WITHIN 5 FEET OF A PROPERTY LINE SHALL BE PROVIDED WITH FIRE-RESISTANCE RATINGS AND OPENING LIMITATIONS IN ACCORDANCE WITH IRC R302.1.  
PROJECTIONS SUCH AS EAVES, SOFFITS, AND OVERHANGS LOCATED NEAR PROPERTY LINES SHALL COMPLY WITH IRC R302.1 AND R302.2.
- GARAGE TO DWELLING FIRE SEPARATION**  
THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND HABITABLE SPACES ABOVE BY FIRE-RESISTANT CONSTRUCTION IN ACCORDANCE WITH IRC R302.6, INCLUDING:  
MINIMUM 1/2-INCH GYPSUM BOARD ON GARAGE WALLS ADJACENT TO THE DWELLING  
MINIMUM 5/8-INCH TYPE X GYPSUM BOARD ON GARAGE CEILINGS BENEATH HABITABLE ROOMS
- GARAGE DOOR CLEARANCE**  
GARAGE VEHICLE DOORS SHALL PROVIDE SUFFICIENT CLEARANCE FOR INTENDED VEHICLE USE AND SHALL COMPLY WITH IRC AND MANUFACTURER REQUIREMENTS.  
MINIMUM VERTICAL CLEARANCE SHALL BE COORDINATED WITH DOOR TYPE AND VEHICLE HEIGHT.
- GARAGE VENTILATION**  
GARAGES SHALL BE PROVIDED WITH NATURAL OR MECHANICAL VENTILATION AS REQUIRED BY IRC R303 AND IMC TO PREVENT ACCUMULATION OF HAZARDOUS GASES SUCH AS CARBON MONOXIDE.
- STAIRWAYS (IF APPLICABLE)**  
**\* STAIRWAYS SERVING THE DWELLING SHALL COMPLY WITH IRC R311.7, INCLUDING:**  
MINIMUM CLEAR WIDTH: 36 INCHES  
MAXIMUM RISER HEIGHT: 7 3/4 INCHES  
MINIMUM TREAD DEPTH: 10 INCHES  
HANDRAILS AND GUARDS SHALL BE PROVIDED WHERE REQUIRED PER IRC R311 AND R312.
- PLUMBING**  
ANY PLUMBING FIXTURES LOCATED WITHIN OR ADJACENT TO THE GARAGE (IF PROVIDED) SHALL BE CONNECTED TO AN APPROVED SANITARY SEWER SYSTEM OR PERMITTED ON-SITE SEWAGE SYSTEM, PER THE VIRGINIA PLUMBING CODE.  
PLUMBING INSTALLATIONS SHALL COMPLY WITH IPC AND IRC CHAPTER 25.
- ELECTRICAL - GARAGE AREAS**  
ELECTRICAL INSTALLATIONS WITHIN GARAGES SHALL COMPLY WITH THE 2020 NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED BY VIRGINIA.  
GFCI PROTECTION SHALL BE PROVIDED FOR GARAGE RECEPTACLES AND OUTLETS IN AREAS SUBJECT TO MOISTURE, PER NEC 210.8(A).  
OUTLET SPACING AND LIGHTING SHALL COMPLY WITH NEC ARTICLES 210 AND 334.



**PROPOSED**  
**BASEMENT FLOOR PLAN**  
SCALE : 1/4" = 1'-0"

**AREA SCHEDULE**

AREAS	SQUARE FEET
UNFINISHED AREA	1,723 SQFT

**WALL LEGEND**

	NEW 8" CONC. WALL
	NEW EXTERIOR WALL (2"x6")
	NEW INTERIOR WALL (2"x4")
	EXISTING WALL
	DEMOLISH WALL

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

NO.	REVISION

DRAWING NO.:

DATE:

DRAWN BY:

SHEET:

**A1.0**

**ARCHITECTURAL NOTES**

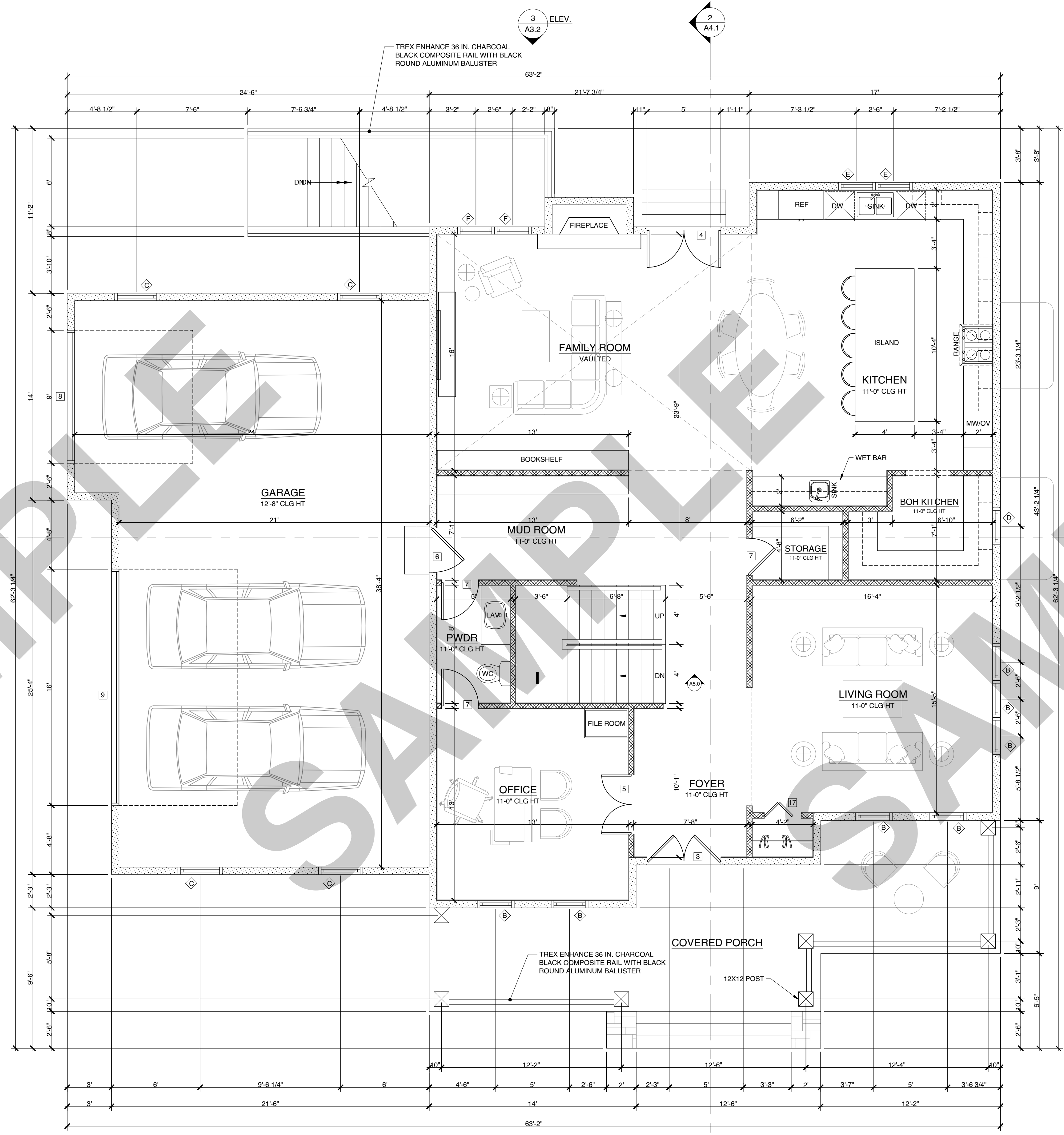
- SHOWER ENCLOSURES**  
SHOWER AND TUBSHOWER WALLS SHALL BE FINISHED WITH NON-ABSORBENT, MOISTURE-RESISTANT MATERIALS EXTENDING A MINIMUM OF 72 INCHES ABOVE THE FINISHED FLOOR, PER IRC R307.  
WHERE GLAZING IS PROVIDED, APPROVED SAFETY GLAZING SHALL BE USED IN ACCORDANCE WITH IRC R308.
- SHOWER STALL SIZE**  
SHOWER COMPARTMENTS SHALL HAVE A MINIMUM INTERIOR AREA OF 1.024 SQUARE INCHES AND BE CAPABLE OF ENCLAVING A 30-INCH DIAMETER CIRCLE, PER IRC R307.1. SHOWER DOORS SHALL SWING OUTWARD OR BE REMOVABLE FOR EMERGENCY ACCESS.
- WATER EFFICIENCY FIXTURES**  
PLUMBING FIXTURES SHALL COMPLY WITH VIRGINIA PLUMBING CODE AND IECC EFFICIENCY REQUIREMENTS, INCLUDING:  
TOILETS: MAXIMUM 1.28 GPF  
SHOWERHEADS: MAXIMUM 2.0 GPM @ 80 PSI  
LAVATORY FAUCETS: MAXIMUM 2.0 GPM @ 60 PSI  
FIXTURES SHALL COMPLY WITH IRC P2804 / IPC.
- TEMPERATURE CONTROL VALVES**  
SHOWERS AND TUBSHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE-BALANCING OR THERMOSTATIC MIXING VALVES TO PREVENT SCALDING, PER IRC P2708.4 / IPC 424.3.
- EXTERIOR WALL FINISHES**  
ALL EXTERIOR WALL ASSEMBLIES SHALL INCLUDE A CODE-COMPLIANT WEATHER-RESISTIVE BARRIER (WRB) BEHIND SIDING OR CLADDING. INSTALLATION SHALL COMPLY WITH IRC R703 AND MANUFACTURER'S INSTALLATION REQUIREMENTS (BRICK & STONE VENEER ONLY WHERE SPECIFICALLY NOTED ON THE CONSTRUCTION DRAWINGS).
- DUCT SIZING & INSTALLATION**  
HVAC DUCTWORK SHALL BE SIZED, SEALED, AND INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL MECHANICAL CODE (IMC) AND IRC CHAPTER 16. DUCTS LOCATED OUTSIDE CONDITIONED SPACE SHALL BE INSULATED PER IECC REQUIREMENTS.
- CLOTHES DRYER EXHAUST**  
DRYER EXHAUST DUCTS SHALL TERMINATE OUTDOORS AND SHALL NOT EXCEED 35 FEET IN TOTAL DEVELOPED LENGTH. REDUCE ALLOWABLE LENGTH BY 5 FEET FOR EACH ELBOW, UNLESS OTHERWISE PERMITTED BY THE MANUFACTURER, PER IRC M1502.4.
- SKYLIGHTS (IF PROVIDED)**  
SKYLIGHTS SHALL BE LISTED AND LABELED BY AN APPROVED TESTING AGENCY AND COMPLY WITH IRC R308 AND IECC FENESTRATION REQUIREMENTS.
- ULTRA-LOW CONSUMPTION FIXTURES**  
ALL PLUMBING FIXTURES INSTALLED IN NEW CONSTRUCTION SHALL COMPLY WITH LOW-CONSUMPTION STANDARDS PER THE VIRGINIA PLUMBING CODE AND IECC.
- UTILITY CLEARANCES**  
MAINTAIN A MINIMUM 36-INCH CLEAR WORKING SPACE IN FRONT OF ELECTRICAL PANELS, PER NEC 110.26.  
PROVIDE REQUIRED CLEARANCES AROUND GAS METERS, WATER METERS, AND MECHANICAL EQUIPMENT PER UTILITY PROVIDER AND AHJ REQUIREMENTS.
- WATER HEATER INSTALLATION**  
WATER HEATERS SHALL BE INSTALLED IN ACCORDANCE WITH THE VIRGINIA PLUMBING CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.  
PROVIDE DRAIN PANS AND DISCHARGE PIPING WHERE REQUIRED.
- SANITARY SEWER CONNECTION**  
ALL PLUMBING FIXTURES SHALL BE CONNECTED TO AN APPROVED SANITARY SEWER SYSTEM OR PERMITTED ON-SITE SEWAGE DISPOSAL SYSTEM, PER THE VIRGINIA PLUMBING CODE.
- HOT & COLD WATER SUPPLY**  
ALL REQUIRED FIXTURES, INCLUDING KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, AND LAUNDRY CONNECTIONS, SHALL BE SUPPLIED WITH BOTH HOT AND COLD POTABLE WATER.
- NON-ABSORBENT BATHROOM SURFACES**  
BATHTUB AND SHOWER FLOORS, WALLS ABOVE TUBS WITH SHOWERHEADS, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH NON-ABSORBENT MATERIALS EXTENDING A MINIMUM OF 6 FEET ABOVE THE FINISHED FLOOR, PER IRC R307.2.
- LIGHTING REQUIREMENTS**  
ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT THROUGH EXTERIOR GLAZING OR APPROVED ARTIFICIAL LIGHTING.  
ARTIFICIAL LIGHTING SHALL PROVIDE A MINIMUM AVERAGE ILLUMINATION OF 6 FOOT-CANDLES MEASURED 30 INCHES ABOVE THE FLOOR, PER IRC R303.
- EVALUATION REPORTS**  
WHERE ALTERNATE MATERIALS OR SYSTEMS ARE USED, A COPY OF THE APPLICABLE ICC-ES OR APPROVED EVALUATION REPORT SHALL BE AVAILABLE ON SITE FOR INSPECTION, PER USBC REQUIREMENTS.
- HEATING REQUIREMENTS**  
HEATING SYSTEMS SHALL BE CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F, MEASURED 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS, IN ALL HABITABLE ROOMS, PER IRC R303.10.
- WOOD PROTECTION FROM DECAY**  
WOOD IN CONTACT WITH CONCRETE OR MASONRY, OR EXPOSED TO WEATHER, SHALL BE PRESSURE-TREATED OR NATURALLY DURABLE, PER IRC R317 AND AWPA STANDARDS.
- FIRE-RATED ASSEMBLIES (WHERE REQUIRED)**  
FIRE-RESISTIVE WALL AND CEILING ASSEMBLIES SHALL BE PROVIDED WHERE REQUIRED BETWEEN THE GARAGE AND DWELLING OR NEAR PROPERTY LINES, PER IRC R302.
- GENERAL COMPLIANCE**  
ALL MATERIALS, WORKMANSHIP, AND INSTALLATIONS SHALL COMPLY WITH THE 2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC) AND ALL APPLICABLE LOCAL COUNTY AMENDMENTS.

**UTILITY NOTES**

- ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTION**  
ALL 120-VOLT, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN DWELLING UNIT HABITABLE AREAS SHALL BE PROTECTED BY AFCI DEVICES, IN ACCORDANCE WITH NEC 210.12.  
AFCI PROTECTION IS REQUIRED IN LIVING ROOMS, FAMILY ROOMS, DINING ROOMS, BEDROOMS, HALLWAYS, CLOSETS, AND SIMILAR HABITABLE SPACES.
- AFCI & GFCI COMBINATION PROTECTION**  
CIRCUITS SERVING LOCATIONS REQUIRING BOTH AFCI AND GFCI PROTECTION (SUCH AS KITCHENS, LAUNDRY AREAS, AND SIMILAR SPACES) SHALL BE PROTECTED BY LISTED COMBINATION AFCI/GFCI DEVICES, PER NEC 210.8 AND 210.12.
- TAMPER-RESISTANT RECEPTACLES**  
ALL 125-VOLT, 15- AND 20-AMP RECEPTACLES INSTALLED IN DWELLING UNITS SHALL BE TAMPER-RESISTANT, IN ACCORDANCE WITH NEC 406.12.
- LUMINAIRE AND FAN SUPPORT**  
OUTLET BOXES USED FOR CEILING-MOUNTED LUMINAIRES SHALL BE LISTED TO SUPPORT A MINIMUM OF 50 LBS, UNLESS OTHERWISE RATED, PER NEC 314.27.  
CEILING FAN OUTLET BOXES SHALL BE LISTED AND LABELED FOR FAN SUPPORT.  
WALL-MOUNTED LUMINAIRES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND CODE REQUIREMENTS.
- ENERGY-EFFICIENT LIGHTING**  
ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LED FIXTURES COMPLYING WITH THE 2021 IECC AS ADOPTED BY VIRGINIA.  
LIGHTING CONTROLS SHALL BE COMPATIBLE WITH LED FIXTURES AND INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- BATHROOM LIGHTING CONTROLS**  
AT LEAST ONE LIGHTING FIXTURE IN EACH BATHROOM SHALL BE CONTROLLED BY AN OCCUPANCY SENSOR, VACANCY SENSOR, OR TIMER, IN COMPLIANCE WITH IECC RESIDENTIAL LIGHTING CONTROL REQUIREMENTS.

**ADDITIONAL NOTES**

- CEILING HEIGHTS**  
HABITABLE ROOMS, INCLUDING LIVING AREAS, BEDROOMS, KITCHENS, AND BATHROOMS, SHALL HAVE A MINIMUM CEILING HEIGHT OF 7 FEET, PER IRC R303.1. BEAMS, GIRDERS, AND OTHER OBSTRUCTIONS MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.  
NON-HABITABLE SPACES SUCH AS GARAGES SHALL HAVE A MINIMUM CEILING HEIGHT OF 7 FEET, WHERE APPLICABLE.
- EMERGENCY ESCAPE & RESCUE OPENINGS**  
EACH SLEEPING ROOM SHALL BE PROVIDED WITH AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING, PER IRC R310.  
**EMERGENCY ESCAPE WINDOWS SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:**  
NET CLEAR OPENING AREA: 5.7 SQ. FT. (5.0 SQ. FT. AT GRADE FLOOR)  
MINIMUM CLEAR HEIGHT: 24 INCHES  
MINIMUM CLEAR WIDTH: 20 INCHES  
MAXIMUM SILL HEIGHT: 44 INCHES ABOVE FINISHED FLOOR
- FIRE PROTECTION - EXTERIOR WALLS**  
EXTERIOR WALLS LOCATED WITHIN 5 FEET OF A PROPERTY LINE SHALL BE PROVIDED WITH FIRE-RESISTANCE RATINGS AND OPENING LIMITATIONS IN ACCORDANCE WITH IRC R302.1. PROJECTIONS SUCH AS EAVES, SOFFITS, AND OVERHANGS LOCATED NEAR PROPERTY LINES SHALL COMPLY WITH IRC R302.1 AND R302.2.
- GARAGE TO DWELLING FIRE SEPARATION**  
THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND HABITABLE SPACES ABOVE BY FIRE-RESISTANT CONSTRUCTION IN ACCORDANCE WITH IRC R302.6, INCLUDING:  
MINIMUM 1/2-INCH GYPSUM BOARD ON GARAGE WALLS ADJACENT TO THE DWELLING  
MINIMUM 5/8-INCH TYPE X GYPSUM BOARD ON GARAGE CEILINGS BENEATH HABITABLE ROOMS.
- GARAGE DOOR CLEARANCE**  
GARAGE VEHICLE DOORS SHALL PROVIDE SUFFICIENT CLEARANCE FOR INTENDED VEHICLE USE AND SHALL COMPLY WITH IRC AND MANUFACTURER REQUIREMENTS. MINIMUM VERTICAL CLEARANCE SHALL BE COORDINATED WITH DOOR TYPE AND VEHICLE HEIGHT.
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GARAGES SHALL BE PROVIDED WITH NATURAL OR MECHANICAL VENTILATION AS REQUIRED BY IRC R303 AND IMC, TO PREVENT ACCUMULATION OF HAZARDOUS GASES SUCH AS CARBON MONOXIDE.
- STAIRWAYS (IF APPLICABLE)**  
**STAIRWAYS SERVING THE DWELLING SHALL COMPLY WITH IRC R311.7, INCLUDING:**  
MINIMUM CLEAR WIDTH: 36 INCHES  
MAXIMUM RISER HEIGHT: 7 1/4 INCHES  
MINIMUM TREAD DEPTH: 10 INCHES  
HANDRAILS AND GUARDS SHALL BE PROVIDED WHERE REQUIRED PER IRC R311 AND R312.
- PLUMBING**  
ANY PLUMBING FIXTURES LOCATED WITHIN OR ADJACENT TO THE GARAGE (IF PROVIDED) SHALL BE CONNECTED TO AN APPROVED SANITARY SEWER SYSTEM OR PERMITTED ON-SITE SEWAGE SYSTEM, PER THE VIRGINIA PLUMBING CODE. PLUMBING INSTALLATIONS SHALL COMPLY WITH IPC AND IRC CHAPTER 25.
- ELECTRICAL - GARAGE AREAS**  
ELECTRICAL INSTALLATIONS WITHIN GARAGES SHALL COMPLY WITH THE 2020 NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED BY VIRGINIA.  
GFCI PROTECTION SHALL BE PROVIDED FOR GARAGE RECEPTACLES AND OUTLETS IN AREAS SUBJECT TO MOISTURE, PER NEC 210.8(A).  
OUTLET SPACING AND LIGHTING SHALL COMPLY WITH NEC ARTICLES 210 AND 334.



**PROPOSED**  
**FIRST FLOOR PLAN**  
SCALE : 1/4" = 1'-0"

**AREA SCHEDULE**

AREAS	SQUARE FEET
LIVING AREA	1,638 SQFT
GARAGE	844 SQFT
COVERED PORCH	331 SQFT

**WALL LEGEND**

	NEW 8" CONC. WALL
	NEW EXTERIOR WALL (2"x6")
	NEW INTERIOR WALL (2"x4")
	EXISTING WALL
	DEMOLISH WALL

STAMP

NO. REVISION

DRAWING NO.:

DATE:

DRAWN BY:

SHEET:

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

**A1.1**

**ARCHITECTURAL NOTES**

- SHOWER ENCLOSURES**  
SHOWER AND TUB/SHOWER WALLS SHALL BE FINISHED WITH NON-ABSORBENT, MOISTURE-RESISTANT MATERIALS EXTENDING A MINIMUM OF 72 INCHES ABOVE THE FINISHED FLOOR, PER IRC R307.  
WHERE GLAZING IS PROVIDED, APPROVED SAFETY GLAZING SHALL BE USED IN ACCORDANCE WITH IRC R308.
- SHOWER STALL SIZE**  
SHOWER COMPARTMENTS SHALL HAVE A MINIMUM INTERIOR AREA OF 1.024 SQUARE INCHES AND BE CAPABLE OF ENCLOSED A 30-INCH DIAMETER CIRCLE, PER IRC R307.1.  
SHOWER DOORS SHALL SWING OUTWARD OR BE REMOVABLE FOR EMERGENCY ACCESS.
- WATER EFFICIENCY FIXTURES**  
PLUMBING FIXTURES SHALL COMPLY WITH VIRGINIA PLUMBING CODE AND IECC EFFICIENCY REQUIREMENTS, INCLUDING:  
TOILETS: MAXIMUM 1.28 GPF  
SHOWERHEADS: MAXIMUM 2.0 GPM @ 80 PSI  
LAVATORY FAUCETS: MAXIMUM 2.0 GPM @ 60 PSI  
FIXTURES SHALL COMPLY WITH IRC P2904 / IPC.
- TEMPERATURE CONTROL VALVES**  
SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE-BALANCING OR THERMOSTATIC MIXING VALVES TO PREVENT SCALDING, PER IRC P2708.4 / IPC 424.3.
- EXTERIOR WALL FINISHES**  
ALL EXTERIOR WALL ASSEMBLIES SHALL INCLUDE A CODE-COMPLIANT WEATHER-RESISTIVE BARRIER (WRB) BEHIND SIDING OR CLADDING.  
INSTALLATION SHALL COMPLY WITH IRC R703 AND MANUFACTURER'S INSTALLATION REQUIREMENTS.  
(BRICK & STONE VENEER ONLY WHERE SPECIFICALLY NOTED ON THE CONSTRUCTION DRAWINGS.)
- DUCT SIZING & INSTALLATION**  
HVAC DUCTWORK SHALL BE SIZED, SEALED, AND INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL MECHANICAL CODE (IMC) AND IRC CHAPTER 16.  
DUCTS LOCATED OUTSIDE CONDITIONED SPACE SHALL BE INSULATED PER IECC REQUIREMENTS.
- CLOTHES DRYER EXHAUST**  
DRYER EXHAUST DUCTS SHALL TERMINATE OUTDOORS AND SHALL NOT EXCEED 35 FEET IN TOTAL DEVELOPED LENGTH.  
REDUCE ALLOWABLE LENGTH BY 5 FEET FOR EACH ELBOW, UNLESS OTHERWISE PERMITTED BY THE MANUFACTURER, PER IRC M1502.4.
- SKYLIGHTS (IF PROVIDED)**  
SKYLIGHTS SHALL BE LISTED AND LABELED BY AN APPROVED TESTING AGENCY AND COMPLY WITH IRC R309 AND IECC FENESTRATION REQUIREMENTS.
- ULTRA-LOW CONSUMPTION FIXTURES**  
ALL PLUMBING FIXTURES INSTALLED IN NEW CONSTRUCTION SHALL COMPLY WITH LOW-CONSUMPTION STANDARDS PER THE VIRGINIA PLUMBING CODE AND IECC.
- UTILITY CLEARANCES**  
MAINTAIN A MINIMUM 36-INCH CLEAR WORKING SPACE IN FRONT OF ELECTRICAL PANELS, PER NEC 110.26.  
PROVIDE REQUIRED CLEARANCES AROUND GAS METERS, WATER METERS, AND MECHANICAL EQUIPMENT PER UTILITY PROVIDER AND AHJ REQUIREMENTS.
- WATER HEATER INSTALLATION**  
WATER HEATERS SHALL BE INSTALLED IN ACCORDANCE WITH THE VIRGINIA PLUMBING CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.  
PROVIDE DRAIN PANS AND DISCHARGE PIPING WHERE REQUIRED.
- SANITARY SEWER CONNECTION**  
ALL PLUMBING FIXTURES SHALL BE CONNECTED TO AN APPROVED SANITARY SEWER SYSTEM OR PERMITTED ON-SITE SEWAGE DISPOSAL SYSTEM, PER THE VIRGINIA PLUMBING CODE.
- HOT & COLD WATER SUPPLY**  
ALL REQUIRED FIXTURES, INCLUDING KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, AND LAUNDRY CONNECTIONS, SHALL BE SUPPLIED WITH BOTH HOT AND COLD POTABLE WATER.
- NON-ABSORBENT BATHROOM SURFACES**  
BATHTUB AND SHOWER FLOORS, WALLS ABOVE TUBS WITH SHOWERHEADS, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH NON-ABSORBENT MATERIALS EXTENDING A MINIMUM OF 6 FEET ABOVE THE FINISHED FLOOR, PER IRC R307.2.
- LIGHTING REQUIREMENTS**  
ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT THROUGH EXTERIOR GLAZING OR APPROVED ARTIFICIAL LIGHTING.  
ARTIFICIAL LIGHTING SHALL PROVIDE A MINIMUM AVERAGE ILLUMINATION OF 6 FOOT-CANDLES MEASURED 30 INCHES ABOVE THE FLOOR, PER IRC R303.
- EVALUATION REPORTS**  
WHERE ALTERNATE MATERIALS OR SYSTEMS ARE USED, A COPY OF THE APPLICABLE ICC-ES OR APPROVED EVALUATION REPORT SHALL BE AVAILABLE ON SITE FOR INSPECTION, PER USBC REQUIREMENTS.
- HEATING REQUIREMENTS**  
HEATING SYSTEMS SHALL BE CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F, MEASURED 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS, IN ALL HABITABLE ROOMS, PER IRC R303.10.
- WOOD PROTECTION FROM DECAY**  
WOOD IN CONTACT WITH CONCRETE OR MASONRY, OR EXPOSED TO WEATHER, SHALL BE PRESSURE-TREATED OR NATURALLY DURABLE, PER IRC R317 AND AWPA STANDARDS.
- FIRE-RATED ASSEMBLIES (WHERE REQUIRED)**  
FIRE-RESISTIVE WALL AND CEILING ASSEMBLIES SHALL BE PROVIDED WHERE REQUIRED BETWEEN THE GARAGE AND DWELLING OR NEAR PROPERTY LINES, PER IRC R302.
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**UTILITY NOTES**

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ALL 120-VOLT, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN DWELLING UNIT HABITABLE AREAS SHALL BE PROTECTED BY AFCI DEVICES, IN ACCORDANCE WITH NEC 210.12.  
AFCI PROTECTION IS REQUIRED IN LIVING ROOMS, FAMILY ROOMS, DINING ROOMS, BEDROOMS, HALLWAYS, CLOSETS, AND SIMILAR HABITABLE SPACES.
- AFCI & GFCI COMBINATION PROTECTION**  
CIRCUITS SERVING LOCATIONS REQUIRING BOTH AFCI AND GFCI PROTECTION (SUCH AS KITCHENS, LAUNDRY AREAS, AND SIMILAR SPACES) SHALL BE PROTECTED BY LISTED COMBINATION AFCI/GFCI DEVICES, PER NEC 210.8 AND 210.12.
- TAMPER-RESISTANT RECEPTACLES**  
ALL 125-VOLT, 15- AND 20-AMP RECEPTACLES INSTALLED IN DWELLING UNITS SHALL BE TAMPER-RESISTANT, IN ACCORDANCE WITH NEC 408.12.
- LUMINAIRE AND FAN SUPPORT**  
OUTLET BOXES USED FOR CEILING-MOUNTED LUMINAIRES SHALL BE LISTED TO SUPPORT A MINIMUM OF 50 LBS, UNLESS OTHERWISE RATED, PER NEC 314.27.  
CEILING FAN OUTLET BOXES SHALL BE LISTED AND LABELED FOR FAN SUPPORT.  
WALL-MOUNTED LUMINAIRES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND CODE REQUIREMENTS.
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ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LED FIXTURES COMPLYING WITH THE 2021 IECC AS ADOPTED BY VIRGINIA.  
LIGHTING CONTROLS SHALL BE COMPATIBLE WITH LED FIXTURES AND INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- BATHROOM LIGHTING CONTROLS**  
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- EMERGENCY ESCAPE & RESCUE OPENINGS**  
EACH SLEEPING ROOM SHALL BE PROVIDED WITH AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING, PER IRC R310.  
**\* EMERGENCY ESCAPE WINDOWS SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:**  
NET CLEAR OPENING AREA: 5.7 SQ. FT. (5.0 SQ. FT. AT GRADE FLOOR)  
MINIMUM CLEAR HEIGHT: 24 INCHES  
MINIMUM CLEAR WIDTH: 20 INCHES  
MAXIMUM SILL HEIGHT: 44 INCHES ABOVE FINISHED FLOOR
- FIRE PROTECTION - EXTERIOR WALLS**  
EXTERIOR WALLS LOCATED WITHIN 5 FEET OF A PROPERTY LINE SHALL BE PROVIDED WITH FIRE-RESISTANCE RATINGS AND OPENING LIMITATIONS IN ACCORDANCE WITH IRC R302.1.  
PROJECTIONS SUCH AS EAVES, SOFFITS, AND OVERHANGS LOCATED NEAR PROPERTY LINES SHALL COMPLY WITH IRC R302.1 AND R302.2.
- GARAGE TO DWELLING FIRE SEPARATION**  
THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND HABITABLE SPACES ABOVE BY FIRE-RESISTANT CONSTRUCTION IN ACCORDANCE WITH IRC R302.6, INCLUDING:  
MINIMUM 1/2-INCH GYPSUM BOARD ON GARAGE WALLS ADJACENT TO THE DWELLING  
MINIMUM 5/8-INCH TYPE X GYPSUM BOARD ON GARAGE CEILING BENEATH HABITABLE ROOMS
- GARAGE DOOR CLEARANCE**  
GARAGE VEHICLE DOORS SHALL PROVIDE SUFFICIENT CLEARANCE FOR INTENDED VEHICLE USE AND SHALL COMPLY WITH IRC AND MANUFACTURER REQUIREMENTS.  
MINIMUM VERTICAL CLEARANCE SHALL BE COORDINATED WITH DOOR TYPE AND VEHICLE HEIGHT.
- GARAGE VENTILATION**  
GARAGES SHALL BE PROVIDED WITH NATURAL OR MECHANICAL VENTILATION AS REQUIRED BY IRC R303 AND IMC, TO PREVENT ACCUMULATION OF HAZARDOUS GASES SUCH AS CARBON MONOXIDE.
- STAIRWAYS (IF APPLICABLE)**  
**\* STAIRWAYS SERVING THE DWELLING SHALL COMPLY WITH IRC R311.7, INCLUDING:**  
MINIMUM CLEAR WIDTH: 36 INCHES  
MAXIMUM RISER HEIGHT: 7 3/4 INCHES  
MINIMUM TREAD DEPTH: 10 INCHES  
HANDRAILS AND GUARDS SHALL BE PROVIDED WHERE REQUIRED PER IRC R311 AND R312.
- PLUMBING**  
ANY PLUMBING FIXTURES LOCATED WITHIN OR ADJACENT TO THE GARAGE (IF PROVIDED) SHALL BE CONNECTED TO AN APPROVED SANITARY SEWER SYSTEM OR PERMITTED ON-SITE SEWAGE SYSTEM, PER THE VIRGINIA PLUMBING CODE.  
PLUMBING INSTALLATIONS SHALL COMPLY WITH IPC AND IRC CHAPTER 25.
- ELECTRICAL - GARAGE AREAS**  
ELECTRICAL INSTALLATIONS WITHIN GARAGES SHALL COMPLY WITH THE 2020 NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED BY VIRGINIA.  
GFCI PROTECTION SHALL BE PROVIDED FOR GARAGE RECEPTACLES AND OUTLETS IN AREAS SUBJECT TO MOISTURE, PER NEC 210.8(A).  
OUTLET SPACING AND LIGHTING SHALL COMPLY WITH NEC ARTICLES 210 AND 334.



**PROPOSED**  
**SECOND FLOOR PLAN**  
SCALE : 1/4" = 1'-0"

**AREA SCHEDULE**

AREAS	SQUARE FEET
LIVING AREA	1,944 SQFT

**WALL LEGEND**

	NEW 8" CONC. WALL
	NEW EXTERIOR WALL (2"x6")
	NEW INTERIOR WALL (2"x4")
	EXISTING WALL
	DEMOLISH WALL

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

NO.	REVISION

DRAWING NO.:

DATE:

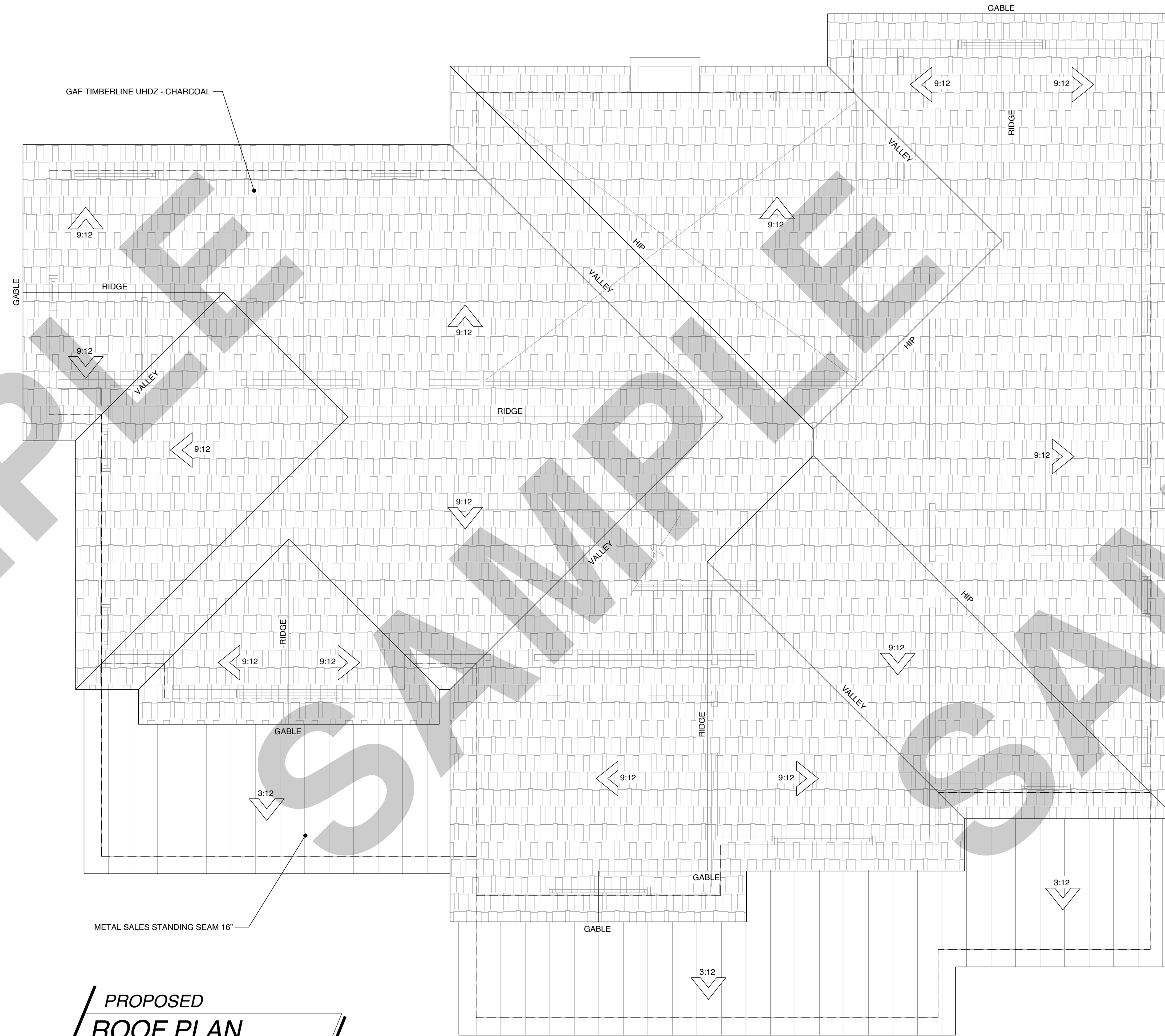
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**A1.2**

**ROOF PLAN NOTES**

1. THESE NOTES APPLY TO ALL ROOF PLAN SHEETS AND SHOULD BE FOLLOWED THROUGHOUT THE ROOFING DESIGN AND CONSTRUCTION.
2. THE ROOF IS DESIGNED AS A FLAT ROOF. DRAINAGE MUST BE CAREFULLY PLANNED TO PREVENT WATER ACCUMULATION. REFER TO STRUCTURAL AND CIVIL DRAWINGS FOR ROOF ELEVATIONS, SLOPES, AND DRAINAGE STRATEGIES.
3. ALL ROOF CURBS, INCLUDING THOSE FOR MECHANICAL AND ELECTRICAL EQUIPMENT, MUST EXTEND A MINIMUM OF 12 INCHES ABOVE THE FINISHED ROOFING LEVEL. WHERE NECESSARY, PROVIDE TAPERED INSULATION SADDLES AT CURBS AND OTHER PENETRATIONS TO FACILITATE PROPER DRAINAGE.
4. STRUCTURAL FRAMING AROUND ALL ROOF PENETRATIONS, INCLUDING OPENINGS FOR SKYLIGHTS, HVAC SYSTEMS, VENTS, AND PIPING, MUST BE INSTALLED PER STRUCTURAL ENGINEERING DETAILS. COORDINATION WITH THE STRUCTURAL ENGINEER IS REQUIRED BEFORE ANY MODIFICATIONS.
5. THE SIZE, LOCATION, AND LAYOUT OF ALL ROOF PENETRATIONS FOR MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS MUST BE CONFIRMED AND COORDINATED WITH THE RESPECTIVE DISCIPLINE DRAWINGS. ANY PENETRATIONS NOT INDICATED ON THE ARCHITECTURAL ROOF PLAN SHOULD BE REVIEWED AND REFERENCED FROM MECHANICAL AND ELECTRICAL PLANS.
6. ALL FLASHING, WATERPROOFING, AND SEALING AROUND DRAINS, CURBS, VENTS, STACKS, AND OTHER PENETRATIONS MUST COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND INDUSTRY BEST PRACTICES. PROPER DETAILING IS ESSENTIAL TO MAINTAIN THE ROOF'S WEATHER RESISTANCE AND LONGEVITY.
7. ROOFING MATERIALS, INSTALLATION METHODS, AND DRAINAGE COMPONENTS MUST CONFORM TO APPLICABLE BUILDING CODES AND STANDARDS. REGULAR INSPECTIONS SHOULD BE CONDUCTED DURING INSTALLATION TO ENSURE COMPLIANCE WITH PROJECT SPECIFICATIONS.



**PROPOSED  
ROOF PLAN**  
SCALE : 1/4" = 1'-0"

STAMP

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TWO STORY HOUSE**

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**A2.0**



**1** / PROPOSED FRONT  
**EXTERIOR ELEVATION**  
 SCALE : 1/4" = 1'-0"

STAMP

**NEW CONSTRUCTION OF  
 TWO STORY HOUSE**

NO.	REVISION

DRAWING NO.:

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DRAWN BY:

SHEET:

**A3.0**



PROPOSED RIGHT  
**2** EXTERIOR ELEVATION  
 SCALE : 1/4" = 1'-0"

STAMP

NEW CONSTRUCTION OF  
 TWO STORY HOUSE

NO.	REVISION

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SHEET:

**A3.1**



PROPOSED REAR  
**3** / EXTERIOR ELEVATION  
 SCALE : 1/4" = 1'-0"

STAMP

NEW CONSTRUCTION OF  
 TWO STORY HOUSE

NO.	REVISION

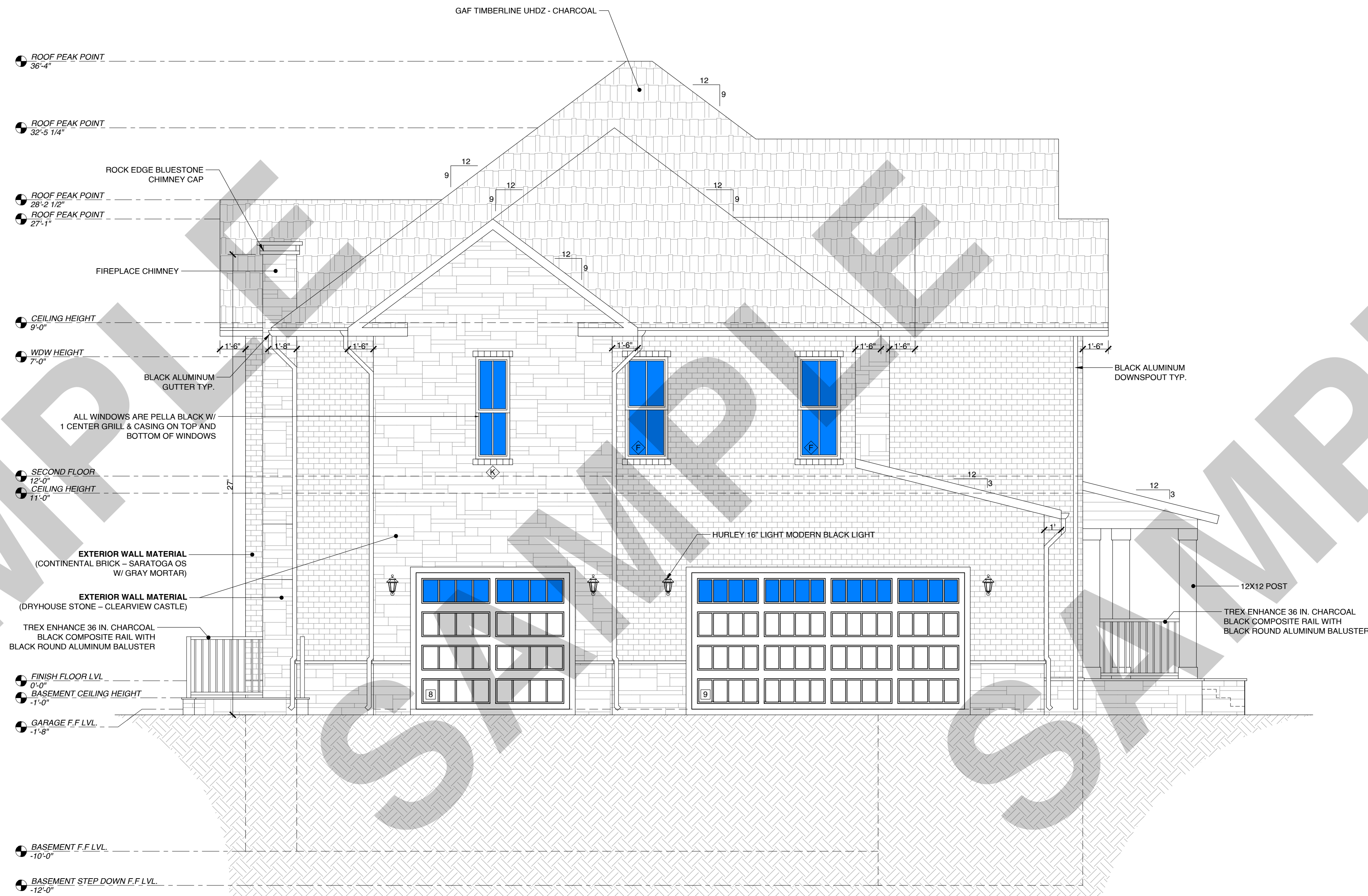
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SHEET:

**A3.2**



**4** / PROPOSED LEFT  
**EXTERIOR ELEVATION**  
 SCALE : 1/4" = 1'-0"

STAMP

**NEW CONSTRUCTION OF  
 TWO STORY HOUSE**

NO.	REVISION

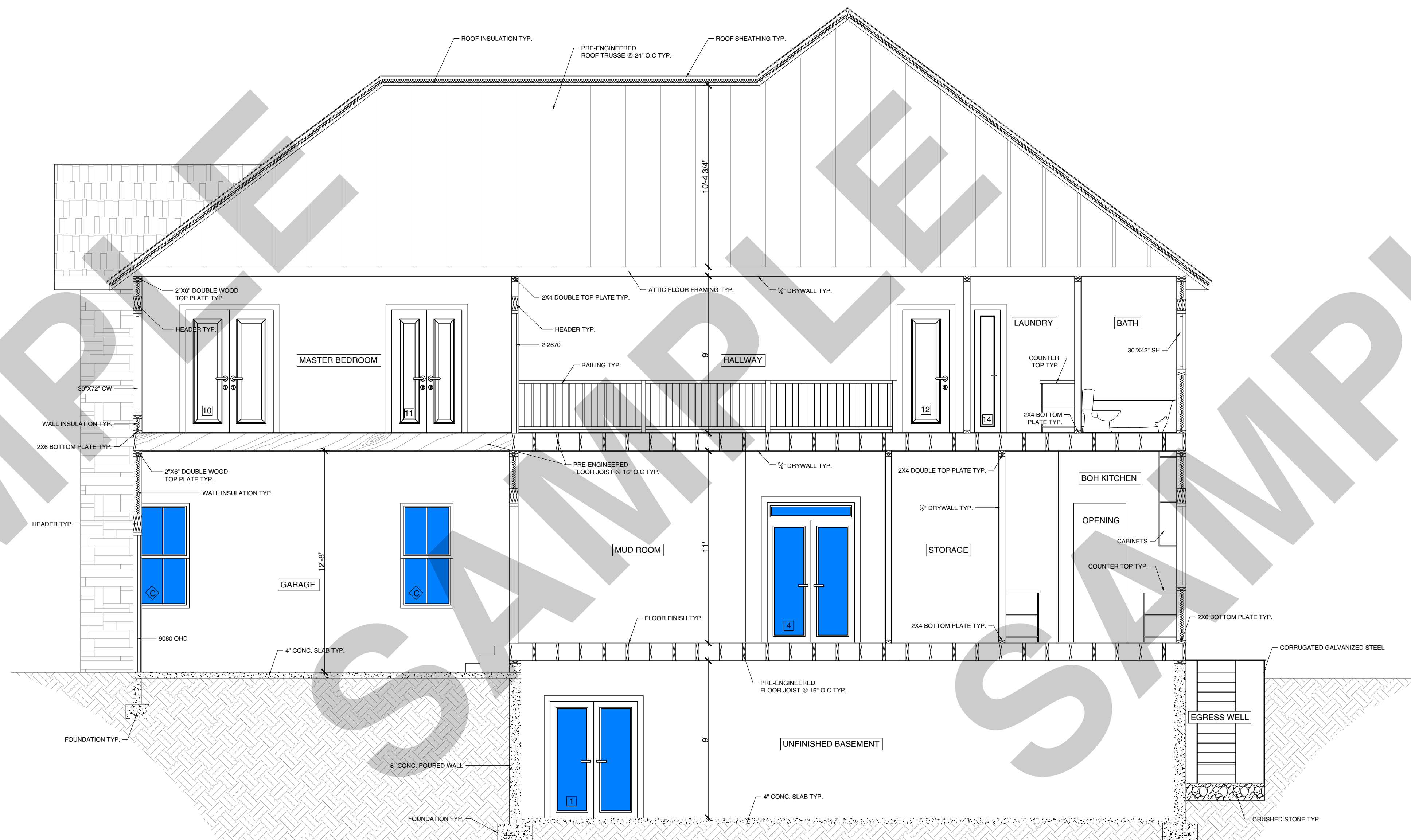
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DATE:

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SHEET:

**A3.3**



PROPOSED  
**1 SECTION VIEW**  
 SCALE : 1/4" = 1'-0"

STAMP

**NEW CONSTRUCTION OF  
 TWO STORY HOUSE**

NO.	REVISION

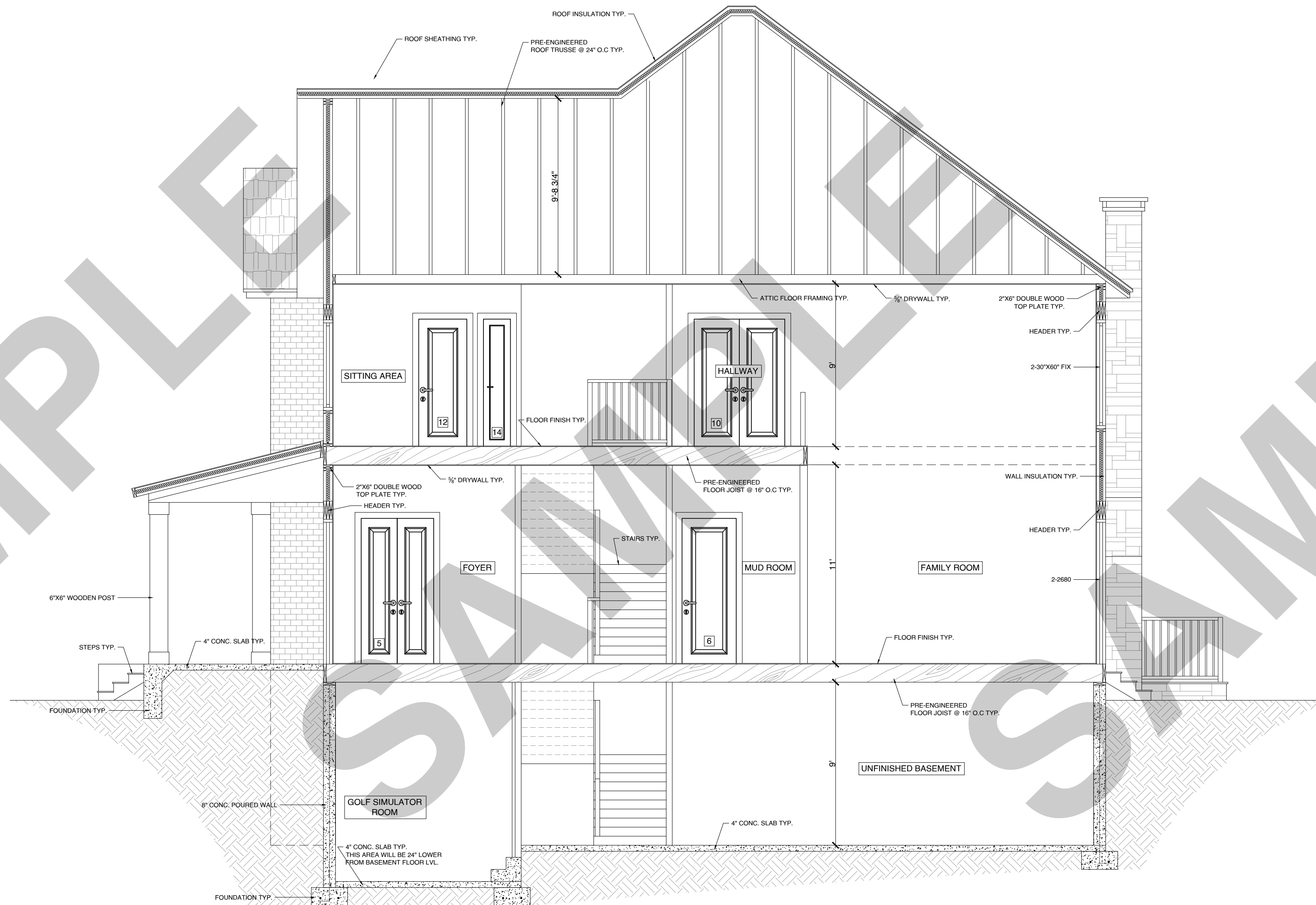
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SHEET:

**A4.0**



PROPOSED  
**2** SECTION VIEW  
 SCALE : 1/4" = 1'-0"

STAMP

NEW CONSTRUCTION OF  
 TWO STORY HOUSE

NO.	REVISION

DRAWING NO.:

DATE:

DRAWN BY:

SHEET:

**A4.1**

STAMP

# NEW CONSTRUCTION OF TWO STORY HOUSE

NO.	REVISION

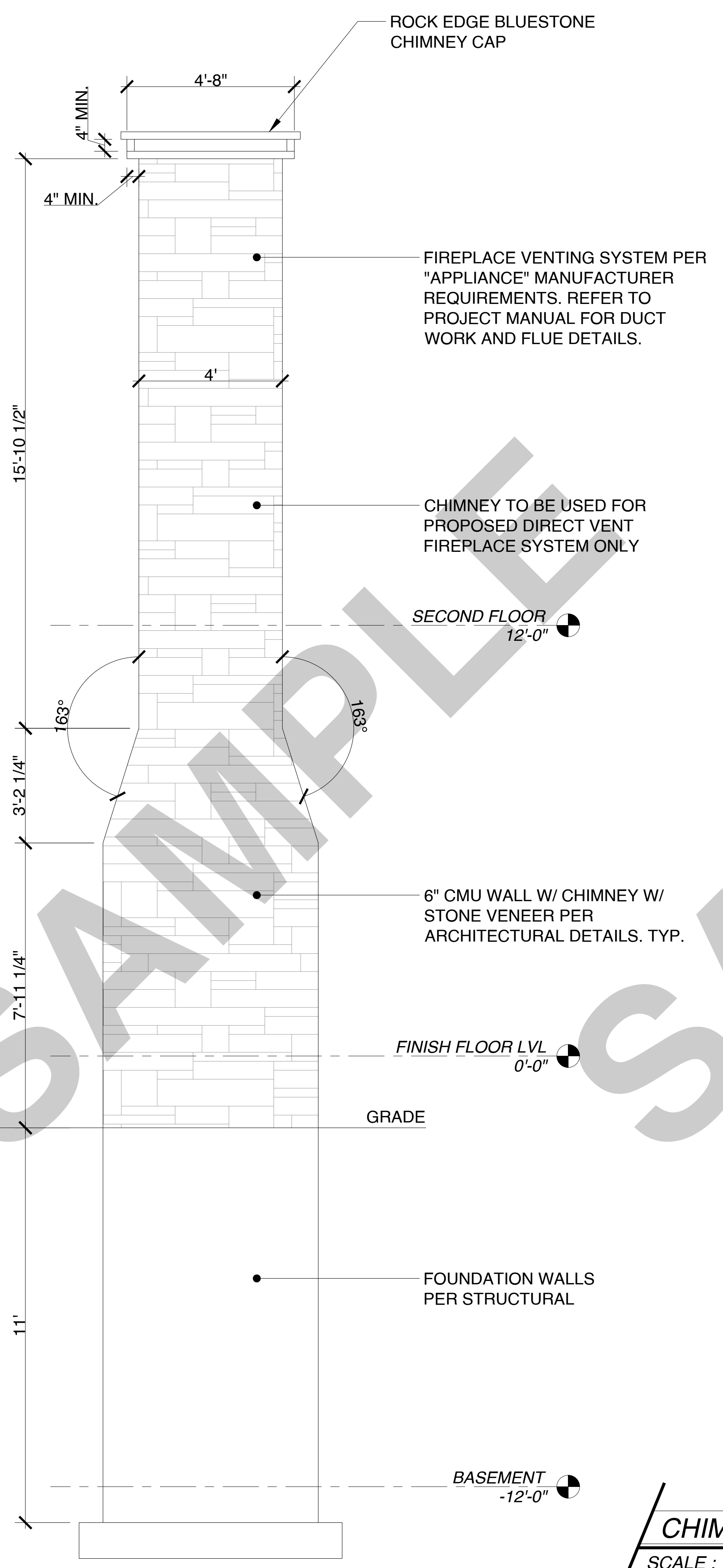
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DATE:

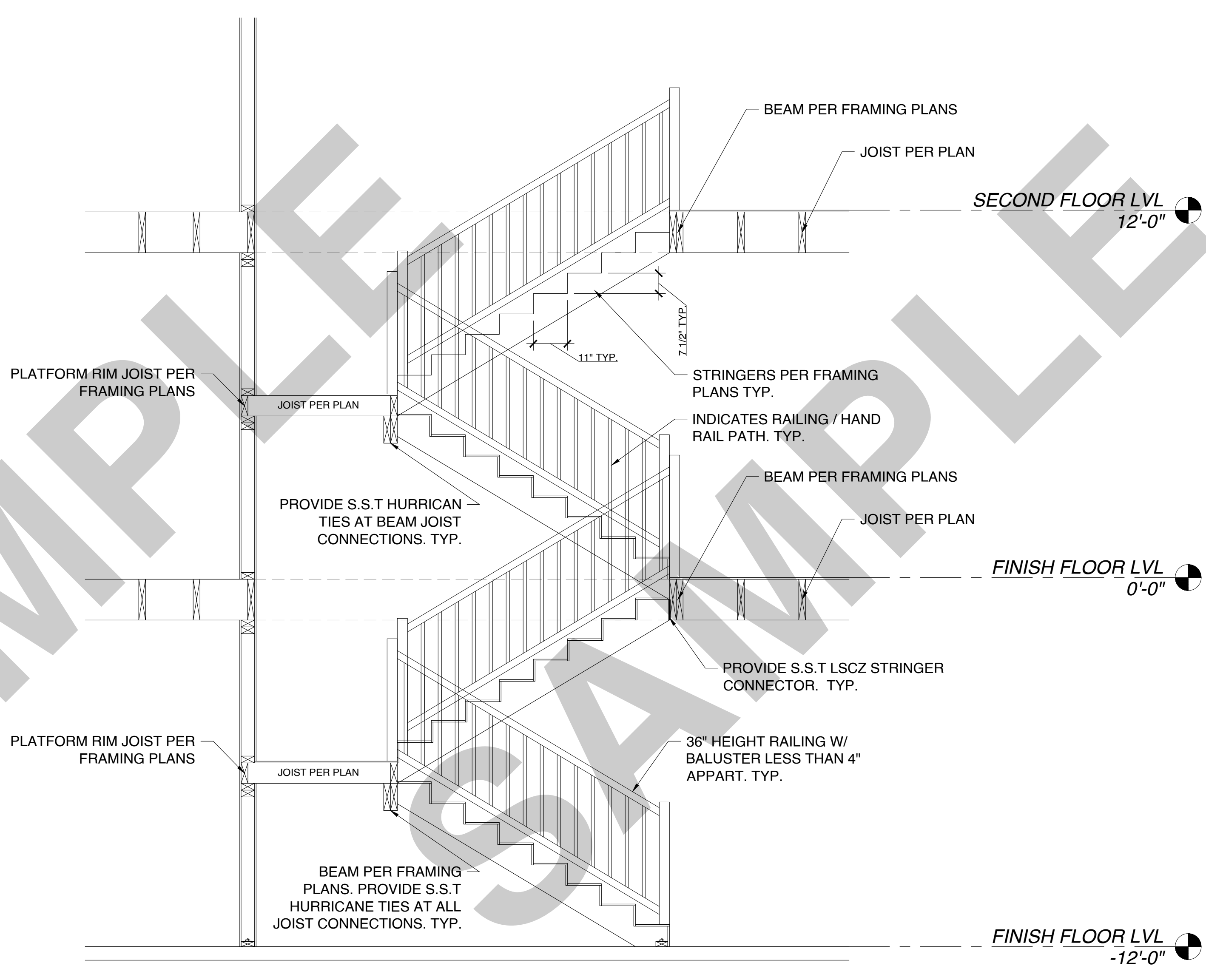
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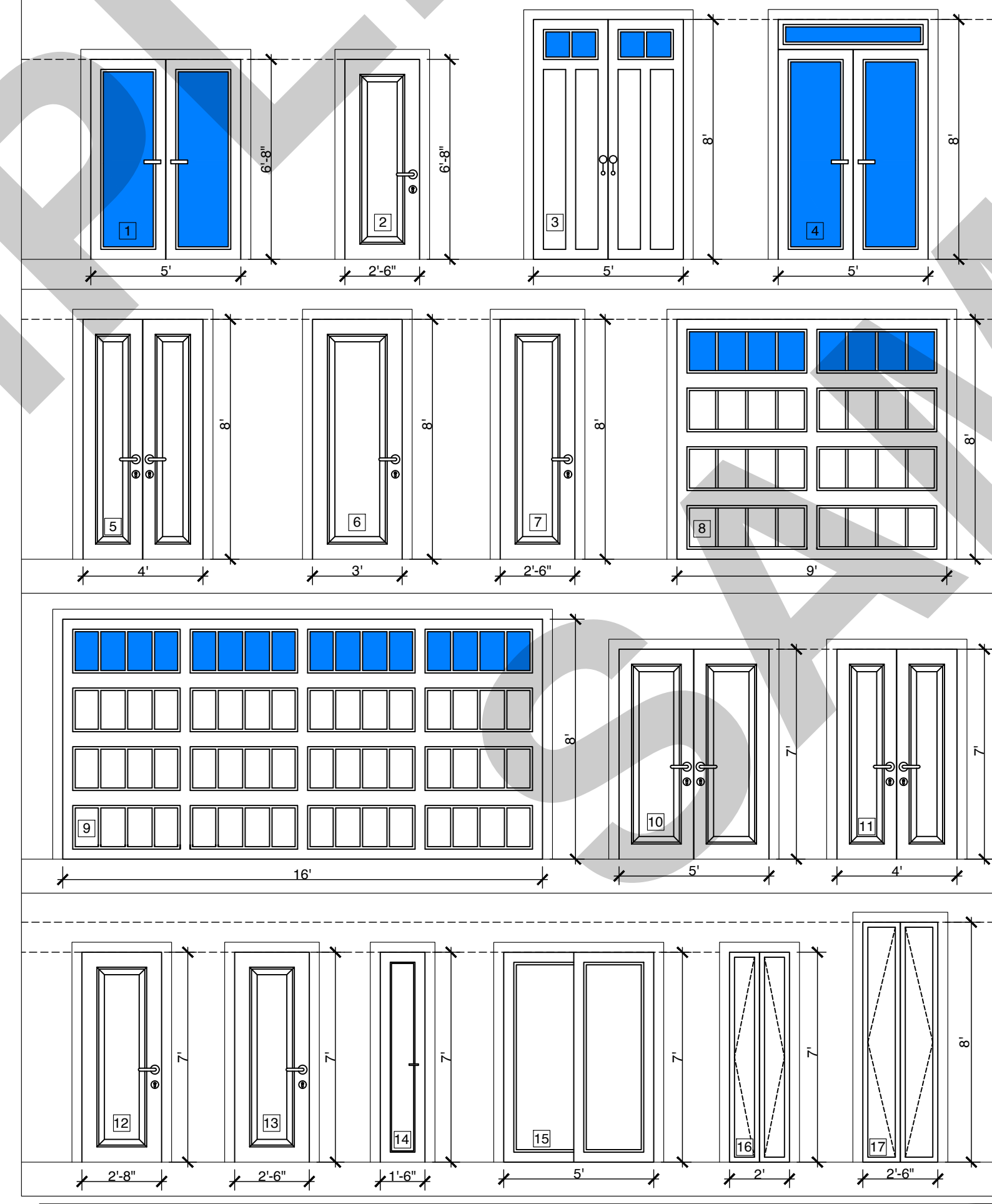
**CHIMNEY DETAIL**  
SCALE : 1/2" = 1'-0"



**STAIRS SECTION**  
SCALE : 1/2" = 1'-0"

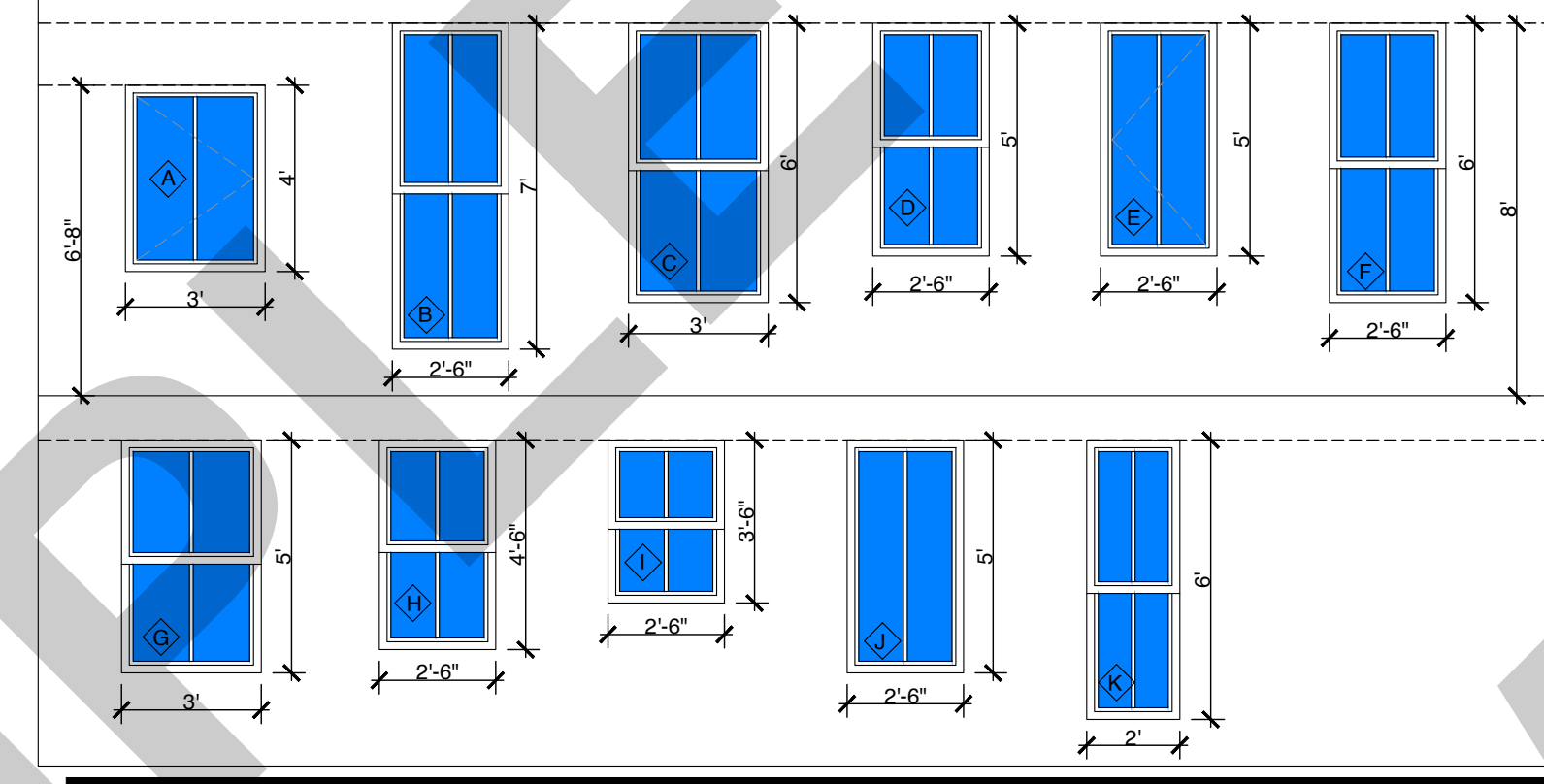
**DOOR SCHEDULE**

Mark	Width	Height	Head Height	Basement	First Floor	Second Floor	Total	Description
1	5'-0"	6'-8"	6'-8"	1	--	--	1	Pella - Lifestyle Series Double Hinged Door for Exterior
2	2'-6"	6'-8"	6'-8"	1	--	--	1	Wooden Swing Door for Interior
3	5'-0"	8'-0"	8'-0"	--	1	--	1	Fiber Classic - Lite 2 Panel Shaker Door for Exterior
4	5'-0"	8'-0"	8'-0"	--	1	--	1	Pella - Lifestyle Series Double Hinged Door for Exterior
5	4'-0"	8'-0"	8'-0"	--	1	--	1	Wooden Double Swing Door for Interior
6	3'-0"	8'-0"	8'-0"	--	1	--	1	Wooden Swing Door for Interior
7	2'-6"	8'-0"	8'-0"	--	2	--	2	Wooden Swing Door for Interior
8	9'-0"	8'-0"	8'-0"	--	1	--	1	Garage Door (Black Color)
9	16'-0"	8'-0"	8'-0"	--	1	--	1	Garage Door (Black Color)
10	5'-0"	7'-0"	7'-0"	--	--	2	2	Wooden Double Swing Door for Interior
11	4'-0"	7'-0"	7'-0"	--	--	1	1	Wooden Double Swing Door for Interior
12	2'-8"	7'-0"	7'-0"	--	--	3	3	Wooden Swing Door for Interior
13	2'-6"	7'-0"	7'-0"	--	--	5	5	Wooden Swing Door for Interior
14	1'-6"	7'-0"	7'-0"	--	--	2	2	Wooden Swing Door for Interior
15	5'-0"	7'-0"	7'-0"	--	--	3	3	Interior Wood Sliding Closet Door
16	2'-0"	7'-0"	7'-0"	--	--	1	1	Wooden Bi-fold Door for Interior
17	2'-6"	8'-0"	8'-0"	--	1	--	1	Wooden Bi-fold Door for Interior



**WINDOW SCHEDULE**

Mark	Width	Height	Head Height	Basement	First Floor	Second Floor	Total	Description
A	3'-0"	4'-0"	6'-8"	2	--	--	2	Casement Window (CW)
B	2'-6"	7'-0"	8'-0"	--	7	--	7	D/Panel Double Hung Window (DH)
C	3'-0"	6'-0"	8'-0"	--	4	--	4	D/Panel Double Hung Window (DH)
D	2'-6"	5'-0"	8'-0" / 7'-0"	--	1	2	3	D/Panel Double Hung Window (DH)
E	2'-6"	5'-0"	8'-0"	--	2	--	2	Casement Window (CW)
F	2'-6"	6'-0"	8'-0" / 7'-0"	--	2	2	4	D/Panel Double Hung Window (DH)
G	3'-0"	5'-0"	7'-0"	--	--	8	8	D/Panel Double Hung Window (DH)
H	2'-6"	4'-6"	7'-0"	--	--	3	3	D/Panel Double Hung Window (DH)
I	2'-6"	3'-6"	7'-0"	--	--	4	4	D/Panel Double Hung Window (DH)
J	2'-6"	5'-0"	7'-0"	--	--	4	4	Fixed Casement Window (CW)
K	2'-0"	6'-0"	7'-0"	--	--	1	1	D/Panel Double Hung Window (DH)



PROPOSED  
**DOOR & WINDOW SCHEDULE**  
 SCALE : 1/4" = 1'-0"

STAMP

**NEW CONSTRUCTION OF  
 TWO STORY HOUSE**

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**A6.0**

SAMPLE

THESE REFRIGERANT LINES WILL  
CONNECT TO THE AC UNIT ON GROUND LVL.

2" CD LINE DISCHARGE 6"  
ABOVE FINISH GRADE AT 12"  
MIN. FROM WALL

A.H.U

185 CFM  
12X12

185 CFM  
12X12

16" X 10" DUCT

50 CFM  
5X4

185 CFM  
12X12

185 CFM  
12X12

185 CFM  
12X12

185 CFM  
12X12

PROPOSED BASEMENT  
HVAC PLAN  
SCALE : 1/4" = 1'-0"

STAMP

NEW CONSTRUCTION OF  
TWO STORY HOUSE

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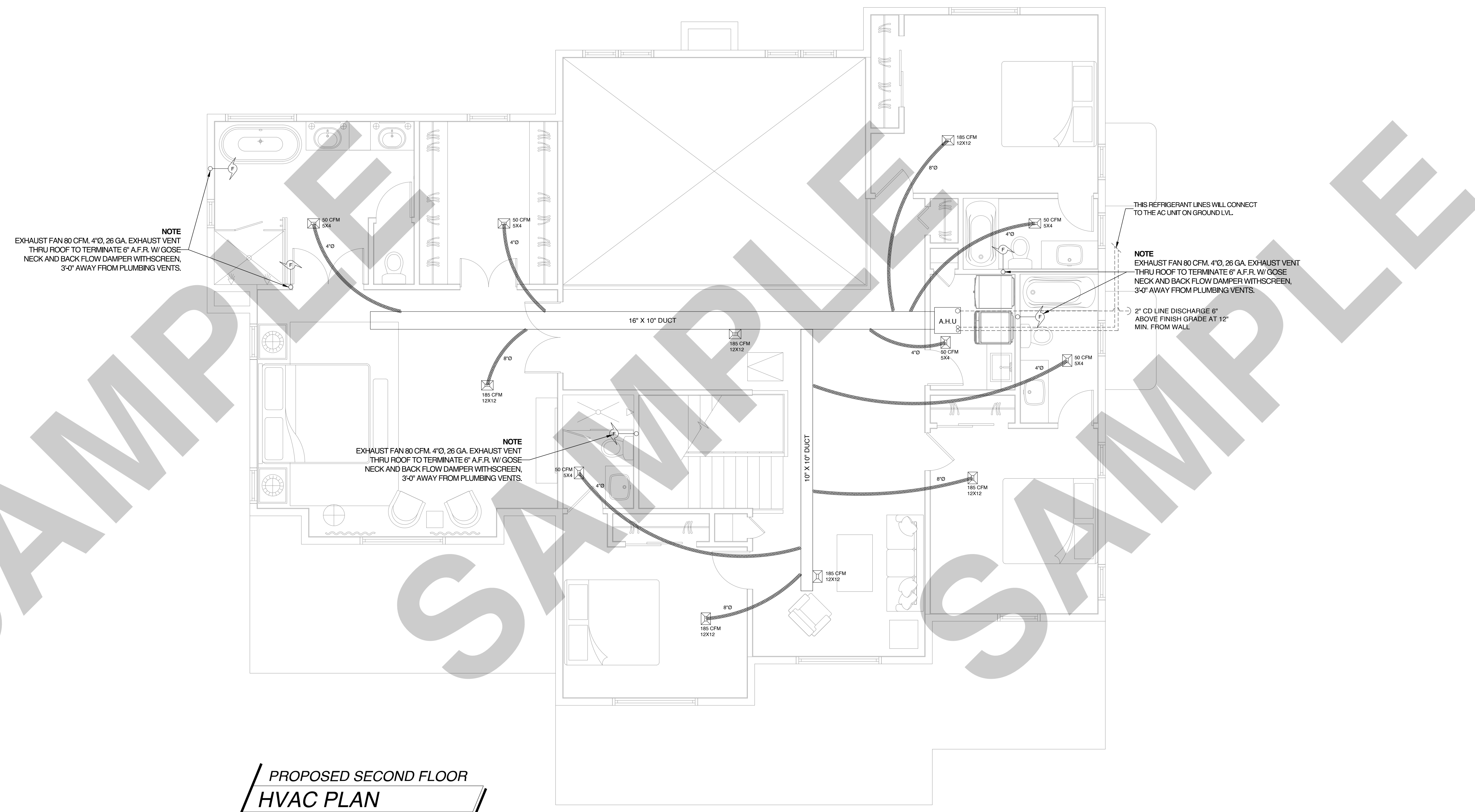
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STAMP

NEW CONSTRUCTION OF  
TWO STORY HOUSE



NOTE  
EXHAUST FAN 80 CFM, 4"Ø, 26 GA. EXHAUST VENT  
THRU ROOF TO TERMINATE 6" A.F.R. W/ GOSE  
NECK AND BACK FLOW DAMPER WITH SCREEN,  
3'-0" AWAY FROM PLUMBING VENTS.

NOTE  
EXHAUST FAN 80 CFM, 4"Ø, 26 GA. EXHAUST VENT  
THRU ROOF TO TERMINATE 6" A.F.R. W/ GOSE  
NECK AND BACK FLOW DAMPER WITH SCREEN,  
3'-0" AWAY FROM PLUMBING VENTS.

THIS REFRIGERANT LINES WILL CONNECT  
TO THE AC UNIT ON GROUND LVL.

NOTE  
EXHAUST FAN 80 CFM, 4"Ø, 26 GA. EXHAUST VENT  
THRU ROOF TO TERMINATE 6" A.F.R. W/ GOSE  
NECK AND BACK FLOW DAMPER WITH SCREEN,  
3'-0" AWAY FROM PLUMBING VENTS.

2" CD LINE DISCHARGE 6"  
ABOVE FINISH GRADE AT 12"  
MIN. FROM WALL

PROPOSED SECOND FLOOR  
HVAC PLAN  
SCALE : 1/4" = 1'-0"

NO.	REVISION

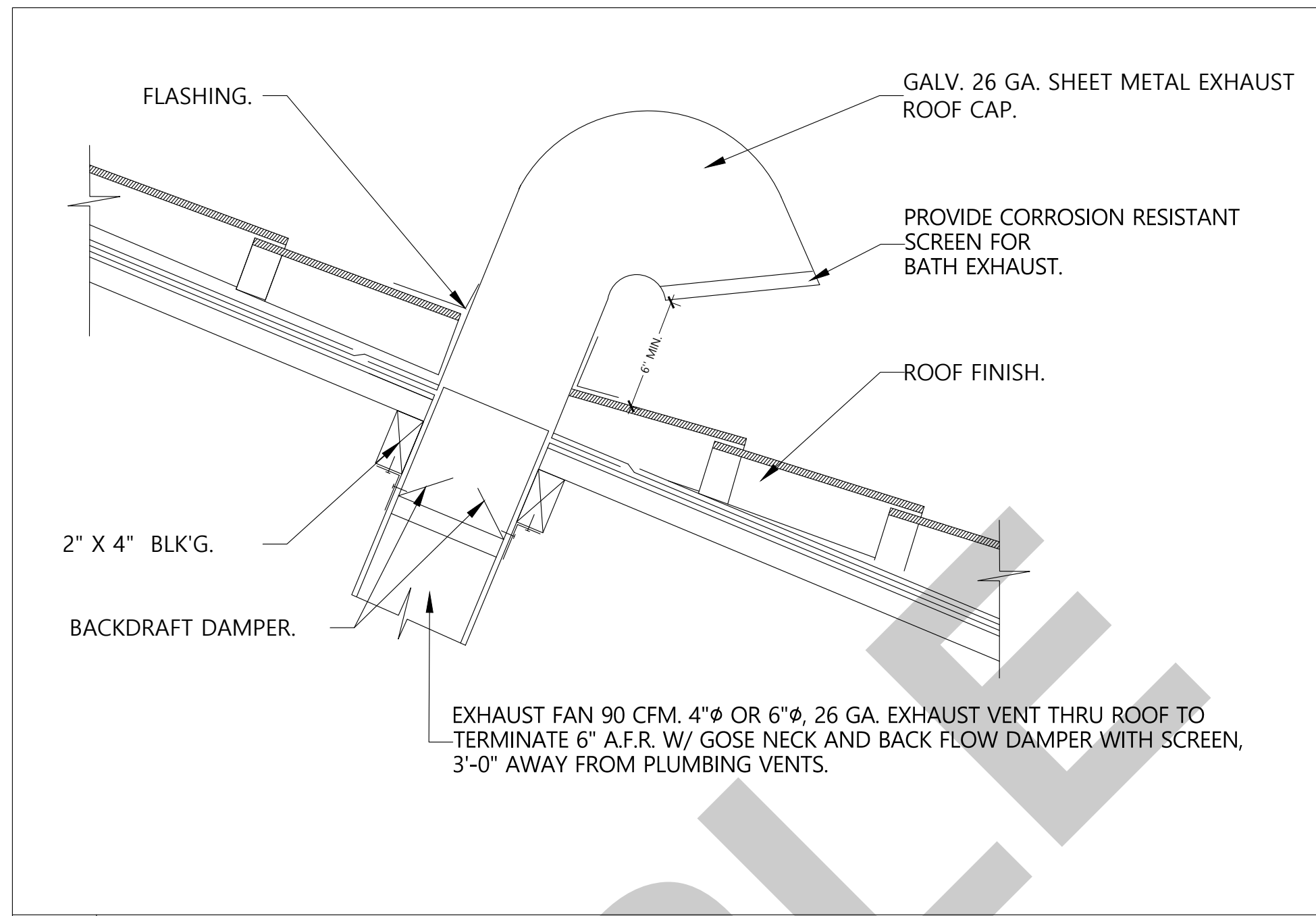
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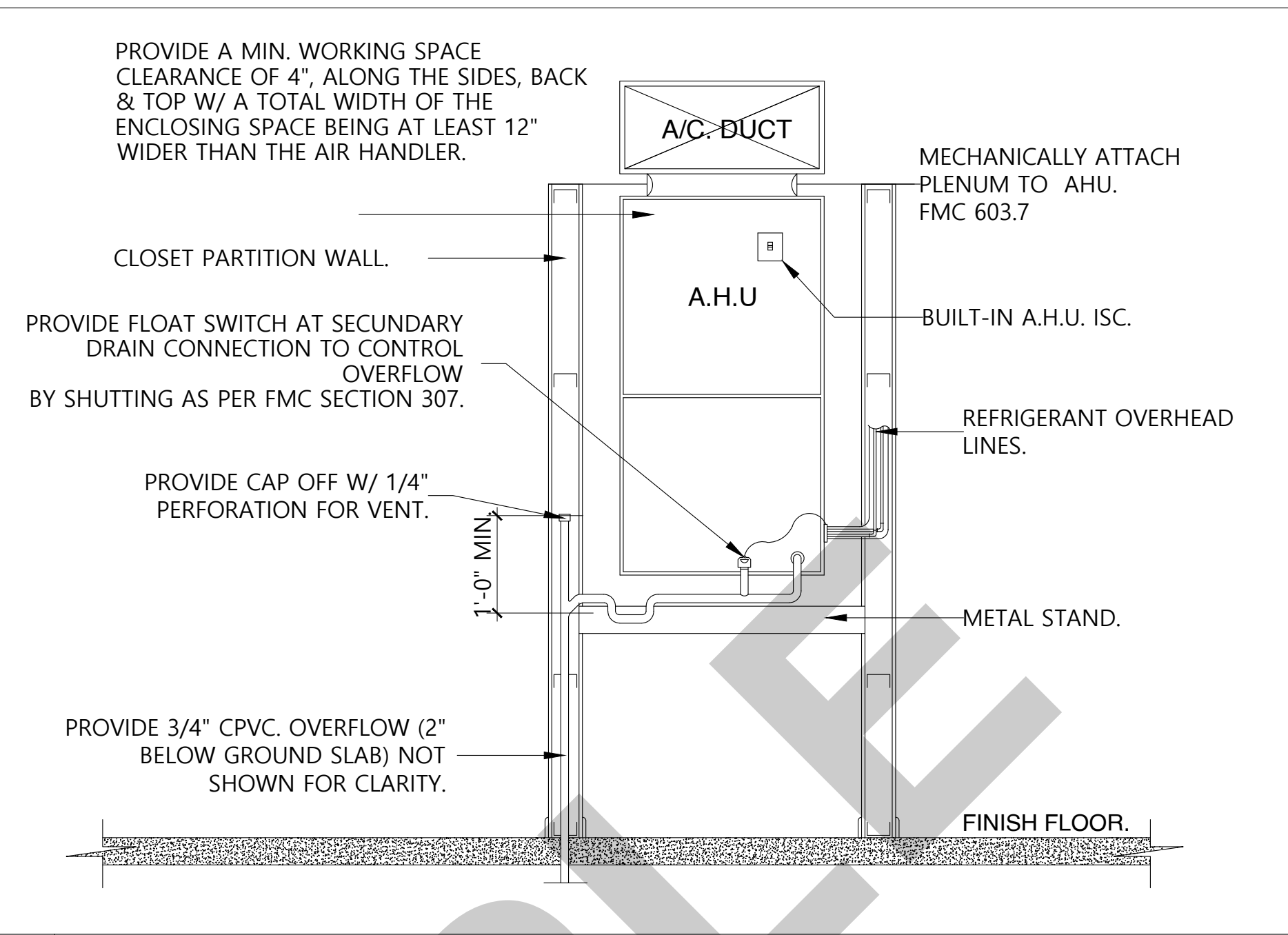
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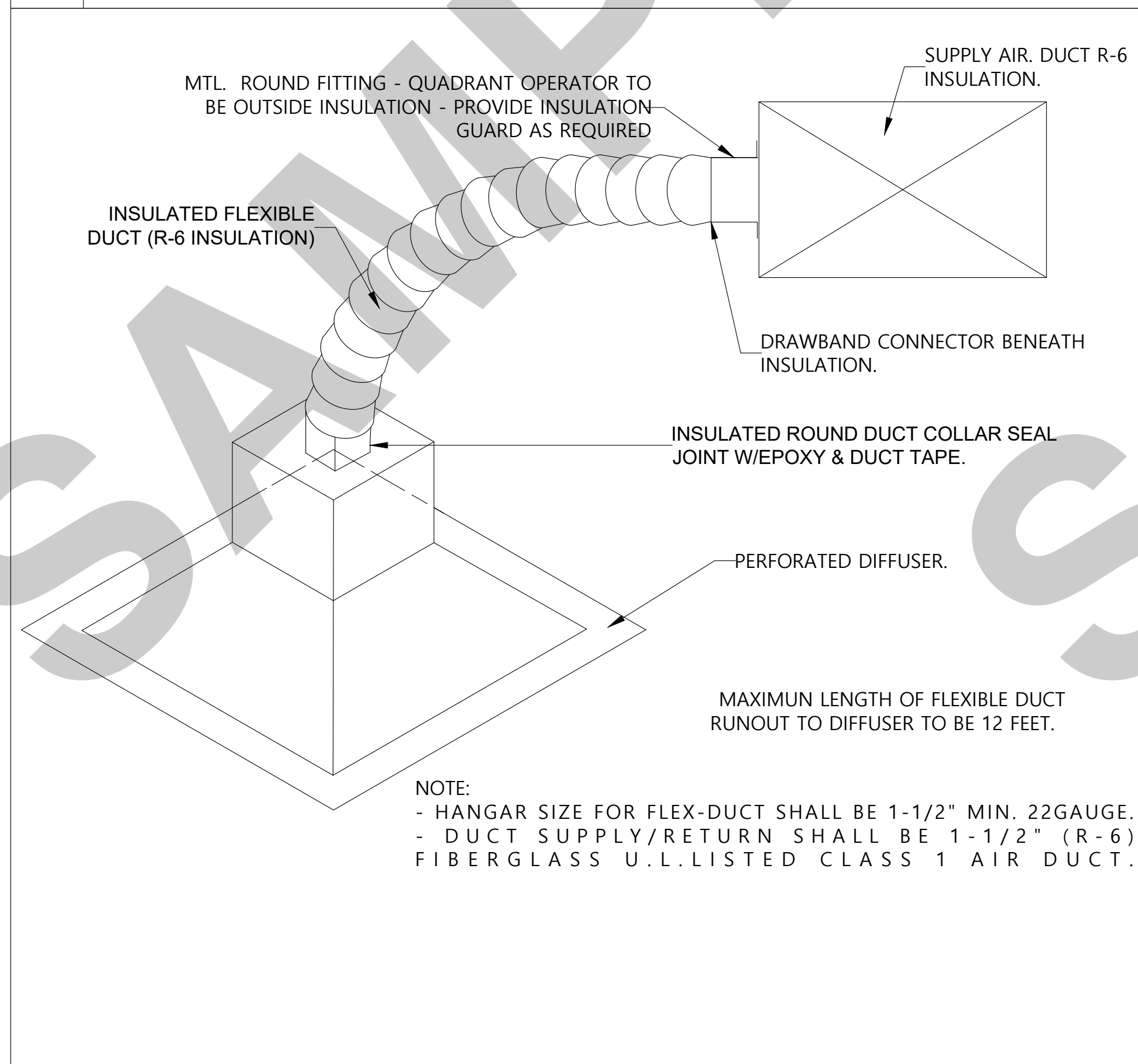
**1 BATH EXHAUST VENT ROOF CAP DETAIL**

SCALE :NTS



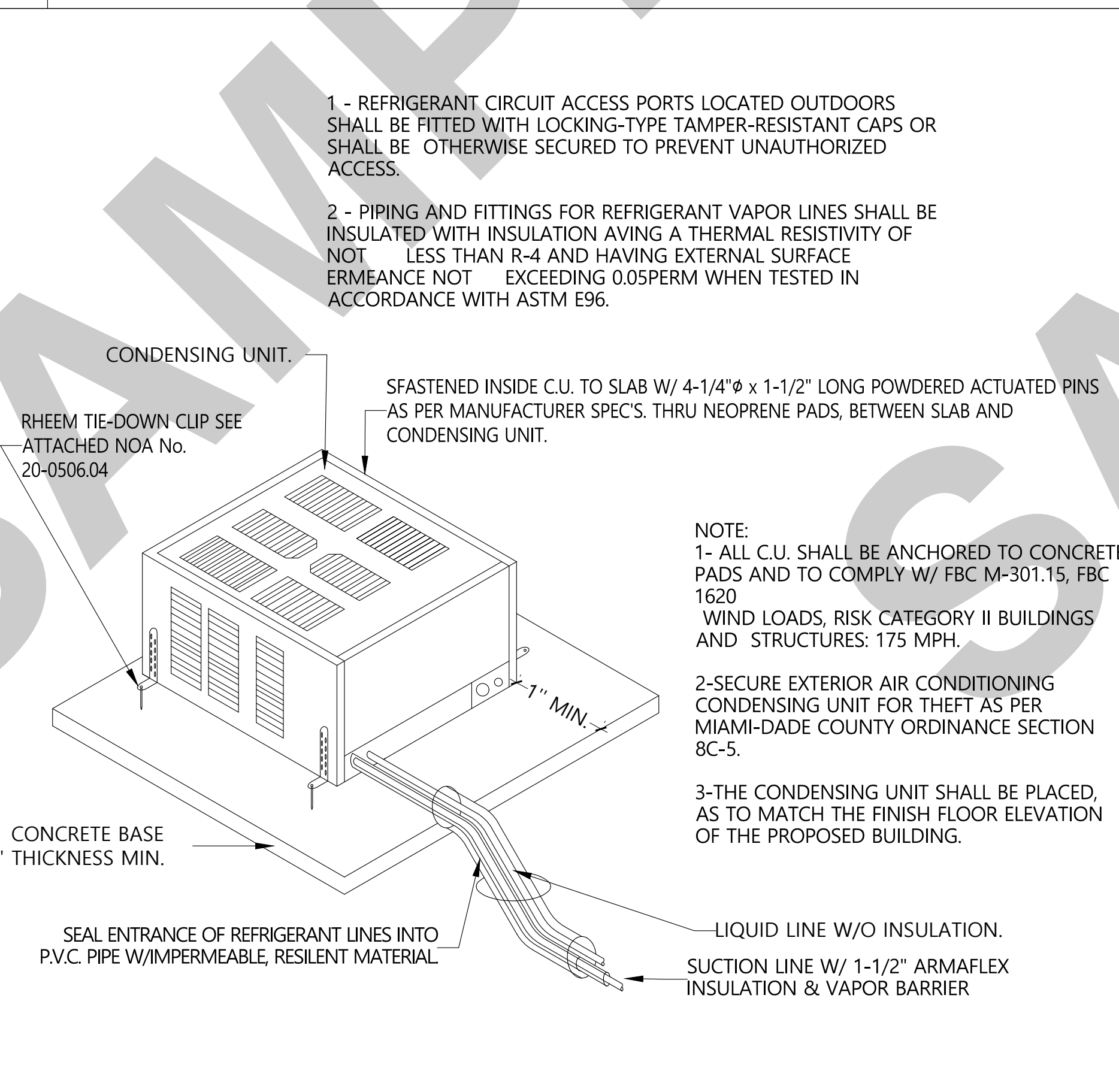
**2 AIR HANDLER UNIT DETAIL**

SCALE :NTS



**3 TYPICAL FLEXIBLE DUCT CONNECTION**

SCALE :NTS



**4 CONDENSER UNIT DETAIL**

SCALE :NTS

H.V.A.C. DESIGN REQUIREMENTS		
	YES	NO
1. DUCT SMOKE DETECTOR.		●
2. FIRE DAMPER(S).		●
3. SMOKE DAMPER(S).		●
4. FIRE RATED ENCLOSURE.		●
5. FIRE RATED ROOF CEILING ASSEMBLY.		●
6. FIRE STOPPING.		●
7. SMOKE CONTROL.		●

EXHAUST FAN SCHEDULE: EF-1	
MANUFACTURER:	--
MODEL:	--
CFM:	90.
SP:	0.10".
DRIVE:	DIRECT.
LOCATION:	CEILING.
ACCESORIES:	DRAFT DAMPER.
NOTE: USE DESIGNATED EXHAUST FAN OR APPROVED EQUAL.	

AIR CONDITIONING LEGEND	
SYMBOL	LEGEND
A.H.U.	AIR HANDLING UNIT.
C.U.	CONDENSING UNIT.
O.A.	OUTSIDE AIR.
R/A	RETURN AIR.
S.A.	SUPPLY AIR.
W.S.A.	WALL SUPPLY AIR.
C.S.A.	CEILING SUPPLY AIR.
RL & S	REFRIGERANT LIQUID & SUCTION PIPE.
CFM	CUBIC FEET PER MINUTE.
M.V.D.	MANUAL VOLUME DAMPER.
O.B.D.	OPPOSED BLADE DAMPER.
⊖	THERMOSTAST.
—	DUCTWORK.
⊠	FLEXIBLE DUCT.
⊠	SUPPLY AIR DIFFUSER.
⊠	RETURN AIR / TRANSFER GRILLE.
—	MANUAL VOLUME DAMPER.
⊠	DENOTES AIR DISTRI. DEVICE.
▷ ◊	DISTRIBUTION BOX.
UC	UNDER CUT DOOR ABOVE FINISH FLOOR AS NOTED

STAMP

NEW CONSTRUCTION OF TWO STORY HOUSE

NO.	REVISION

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**ELECTRICAL NOTES**

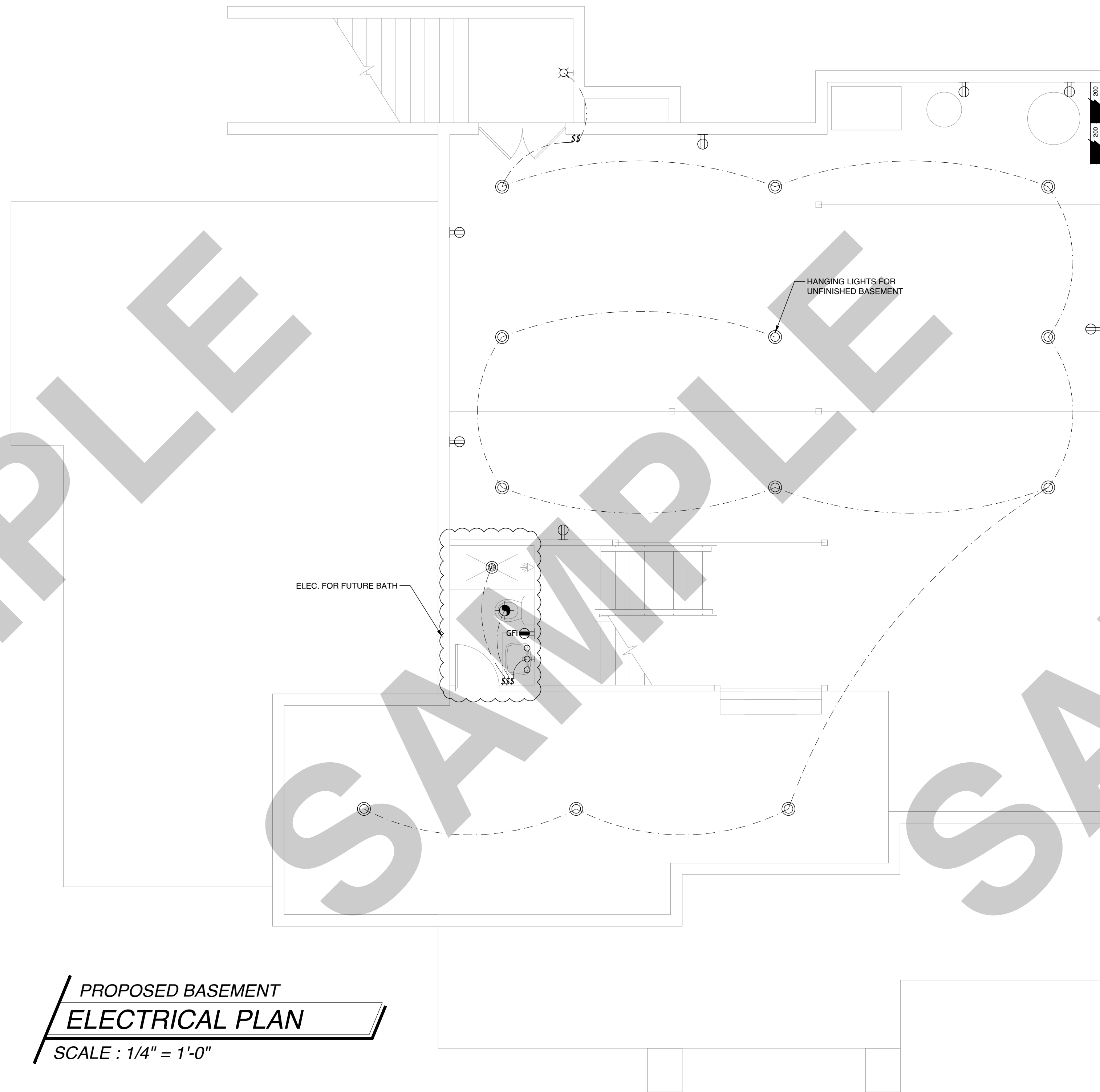
- 1. FIXTURE APPROVAL:**  
CONTRACTOR AND HOMEOWNER SHALL HAVE FINAL APPROVAL ON ALL FINISHED ELECTRICAL FIXTURES PRIOR TO INSTALLATION.
- 2. CODE COMPLIANCE:**  
ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2020 NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED BY THE 2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC), AND ALL APPLICABLE LOCAL AMENDMENTS.
- 3. ELECTRICAL SERVICE:**  
ALL NEW ELECTRICAL WORK SHALL BE CONNECTED TO AN EXISTING OR NEW CODE-COMPLIANT SINGLE-PHASE ELECTRICAL SERVICE, SIZED TO ACCOMMODATE CALCULATED LOADS.
- 4. WIRING MATERIALS:**  
ALL BRANCH CIRCUIT WIRING SHALL BE COPPER CONDUCTORS ONLY, UNLESS OTHERWISE PERMITTED BY CODE AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- 5. FIXTURE & APPLIANCE CONNECTIONS:**  
THE ELECTRICAL CONTRACTOR SHALL FURNISH AND CONNECT ALL LIGHTING FIXTURES, SWITCHES, RECEPTACLES, AND PERMANENTLY INSTALLED APPLIANCES AS SHOWN ON THE PLANS.
- 6. LICENSED CONTRACTOR:**  
ALL ELECTRICAL WORK SHALL BE PERFORMED BY A VIRGINIA-LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- 7. ENERGY-EFFICIENT LIGHTING:**  
A MINIMUM OF 50% OF ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE ENERGY-EFFICIENT LED FIXTURES, IN COMPLIANCE WITH THE 2021 IECC.
- 8. GROUNDING & BONDING:**  
PROVIDE A COMPLETE GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH NEC ARTICLE 250, INCLUDING BONDING TO FOUNDATION REINFORCING STEEL (UFER GROUND) WHERE APPLICABLE AND VERIFIED.
- 9. SWITCH HEIGHTS:**  
LIGHT SWITCHES SHALL BE INSTALLED AT A MINIMUM HEIGHT OF 30 INCHES ABOVE FINISHED FLOOR (AFF) UNLESS OTHERWISE NOTED ON THE PLANS.
- 10. LOW-VOLTAGE & SPECIALTY SYSTEMS:**  
CONTRACTOR AND OWNER SHALL COORDINATE THE INSTALLATION OF ADDITIONAL LOW-VOLTAGE SYSTEMS, INCLUDING BUT NOT LIMITED TO SECURITY SYSTEMS, DATA, AUDIO, INTERCOM, AND SIMILAR EQUIPMENT.
- 11. AFCI PROTECTION - BEDROOMS:**  
ALL BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS (AFCI) IN ACCORDANCE WITH NEC 210.12.
- 12. AFCI PROTECTION - GENERAL:**  
ALL OUTLETS NOT SPECIFICALLY NOTED AS GFCI-PROTECTED SHALL BE AFCI-PROTECTED WHERE REQUIRED BY NEC 210.12, INCLUDING HABITABLE SPACES SUCH AS LIVING ROOMS, DINING ROOMS, HALLWAYS, AND CLOSETS.

**SMOKE ALARMS**

- 1. GENERAL REQUIREMENT:**  
FOR NEW CONSTRUCTION REQUIRING A BUILDING PERMIT, THE DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS INSTALLED IN THE LOCATIONS REQUIRED BY THE 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) SECTION R314, AS ADOPTED BY THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC).
- 2. REQUIRED LOCATIONS:**  
  - \* SMOKE ALARMS SHALL BE INSTALLED:
    - IN EACH SLEEPING ROOM.
    - OUTSIDE EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF BEDROOMS.
    - ON EVERY STORY OF THE DWELLING, INCLUDING BASEMENTS (IF APPLICABLE).
- 3. BATHROOM CLEARANCE:**  
SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM CONTAINING A BATHTUB OR SHOWER.
- 4. COOKING APPLIANCE CLEARANCE:**  
SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 20 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE, UNLESS LISTED FOR CLOSER INSTALLATION.
- 5. COMBINATION UNITS:**  
COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED WHERE INSTALLED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS AND APPLICABLE CODE REQUIREMENTS.
- 6. POWER SOURCE & INTERCONNECTION:**  
  - \* SMOKE ALARMS SHALL:
    - RECEIVE PRIMARY POWER FROM THE BUILDING ELECTRICAL SYSTEM WHERE COMMERCIAL POWER IS AVAILABLE.
    - BE EQUIPPED WITH A BATTERY BACKUP IN THE EVENT OF POWER INTERRUPTION.
    - BE HARDWIRED AND INTERCONNECTED, SO THAT ACTIVATION OF ONE ALARM CAUSES ALL ALARMS TO SOUND.
    - BE PERMANENTLY WIRED WITHOUT A DISCONNECTING SWITCH, EXCEPT AS REQUIRED FOR OVERCURRENT PROTECTION.

**ELECTRICAL LEGEND**

	DUPLEX OUTLET
	DUPLEX OUTLET ABOVE COUNTER
	DUPLEX OUTLET BELOW COUNTER
	CEILING OUTLET
	FLOOR OUTLET
	GFI
	WEATHER PROOF OUTLET
	220v OUTLET
	EXHAUST FAN
	EXHAUST FAN / LIGHT
	RECESSED CAN LIGHT
	EYEBALL LIGHT
	VAPOR PROTECTED LIGHT
	CEILING LIGHT
	PENDANT LIGHT
	SCONE LIGHT
	WALL LIGHT
	SINGLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CABLE T.V. JACK
	HIGH SPEED INTERNET
	BUTTON
	JUNCTION BOX
	PHONE JACK
	SMOKE DETECTOR
	STROBE SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	INTERCOM
	ELECTRIC METER
	1 BULB FLUORESCENT
	2 BULB FLUORESCENT
	VANITY LIGHTS
	CHIMES
	FLOOD LIGHT (Motion Sensor)
	SPEAKER HARD WIRE
	CEILING FAN W/ LIGHT
	CHANDELIER
	300 AMP ELEC PANEL
	200 AMP ELEC PANEL
	100 AMP ELEC PANEL



**PROPOSED BASEMENT  
ELECTRICAL PLAN**  
SCALE : 1/4" = 1'-0"

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

NO.	REVISION

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SHEET:

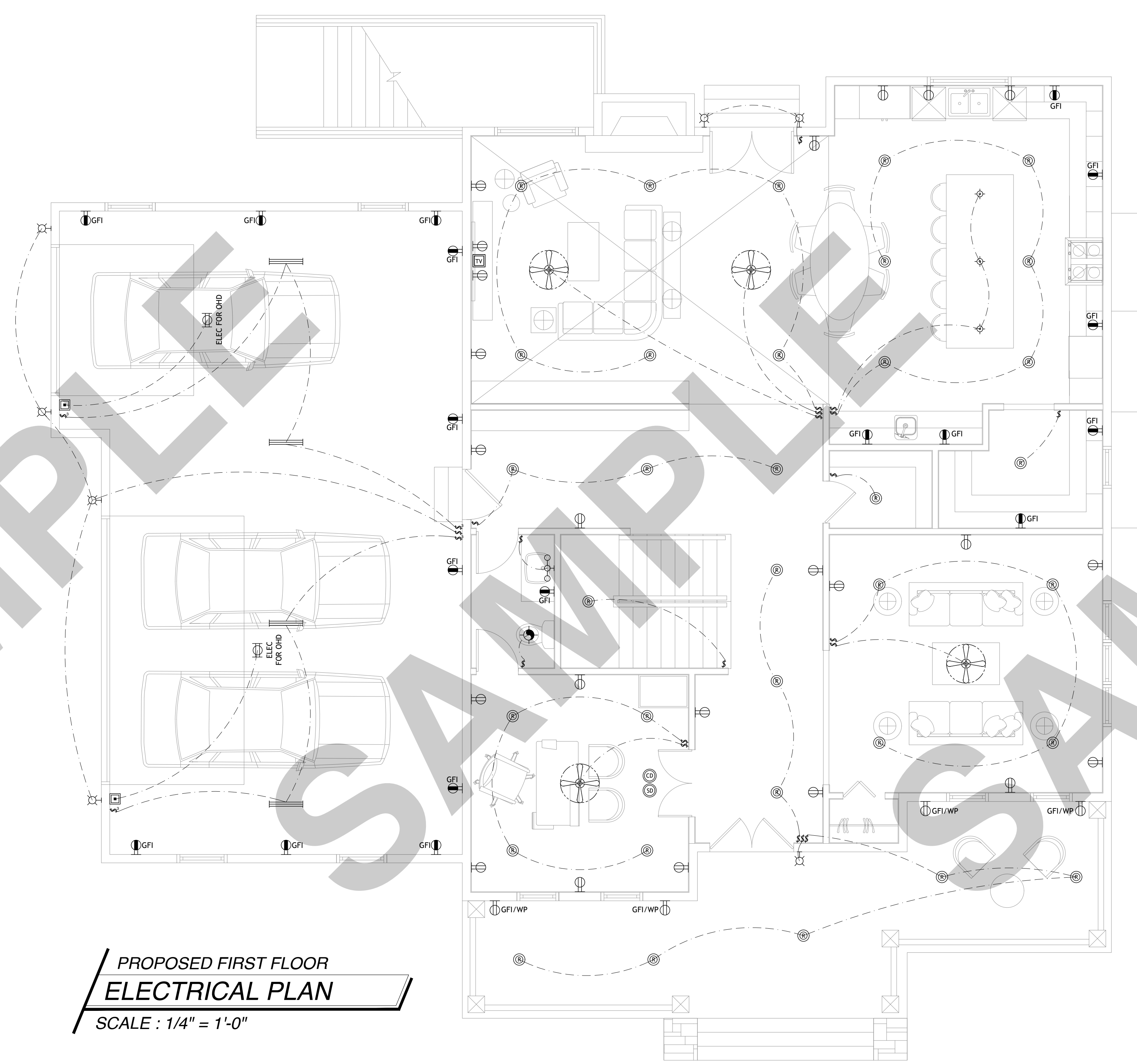
**E1.0**

**ELECTRICAL NOTES**

- 1. FIXTURE APPROVAL:**  
CONTRACTOR AND HOMEOWNER SHALL HAVE FINAL APPROVAL ON ALL FINISHED ELECTRICAL FIXTURES PRIOR TO INSTALLATION.
- 2. CODE COMPLIANCE:**  
ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2020 NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED BY THE 2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC), AND ALL APPLICABLE LOCAL AMENDMENTS.
- 3. ELECTRICAL SERVICE:**  
ALL NEW ELECTRICAL WORK SHALL BE CONNECTED TO AN EXISTING OR NEW CODE-COMPLIANT SINGLE-PHASE ELECTRICAL SERVICE, SIZED TO ACCOMMODATE CALCULATED LOADS.
- 4. WIRING MATERIALS:**  
ALL BRANCH CIRCUIT WIRING SHALL BE COPPER CONDUCTORS ONLY, UNLESS OTHERWISE PERMITTED BY CODE AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- 5. FIXTURE & APPLIANCE CONNECTIONS:**  
THE ELECTRICAL CONTRACTOR SHALL FURNISH AND CONNECT ALL LIGHTING FIXTURES, SWITCHES, RECEPTACLES, AND PERMANENTLY INSTALLED APPLIANCES AS SHOWN ON THE PLANS.
- 6. LICENSED CONTRACTOR:**  
ALL ELECTRICAL WORK SHALL BE PERFORMED BY A VIRGINIA-LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- 7. ENERGY-EFFICIENT LIGHTING:**  
A MINIMUM OF 50% OF ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE ENERGY-EFFICIENT LED FIXTURES, IN COMPLIANCE WITH THE 2021 IECC.
- 8. GROUNDING & BONDING:**  
PROVIDE A COMPLETE GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH NEC ARTICLE 250, INCLUDING BONDING TO FOUNDATION REINFORCING STEEL (IFER GROUND) WHERE APPLICABLE AND VERIFIED.
- 9. SWITCH HEIGHTS:**  
LIGHT SWITCHES SHALL BE INSTALLED AT A MINIMUM HEIGHT OF 30 INCHES ABOVE FINISHED FLOOR (AFF) UNLESS OTHERWISE NOTED ON THE PLANS.
- 10. LOW-VOLTAGE & SPECIALTY SYSTEMS:**  
CONTRACTOR AND OWNER SHALL COORDINATE THE INSTALLATION OF ADDITIONAL LOW-VOLTAGE SYSTEMS, INCLUDING BUT NOT LIMITED TO SECURITY SYSTEMS, DATA, AUDIO, INTERCOM, AND SIMILAR EQUIPMENT.
- 11. AFCI PROTECTION - BEDROOMS:**  
ALL BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS (AFCI) IN ACCORDANCE WITH NEC 210.12.
- 12. AFCI PROTECTION - GENERAL:**  
ALL OUTLETS NOT SPECIFICALLY NOTED AS GFCI-PROTECTED SHALL BE AFCI-PROTECTED WHERE REQUIRED BY NEC 210.12, INCLUDING HABITABLE SPACES SUCH AS LIVING ROOMS, DINING ROOMS, HALLWAYS, AND CLOSETS.

**SMOKE ALARMS**

- 1. GENERAL REQUIREMENT:**  
FOR NEW CONSTRUCTION REQUIRING A BUILDING PERMIT, THE DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS INSTALLED IN THE LOCATIONS REQUIRED BY THE 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) SECTION R314, AS ADOPTED BY THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC).
- 2. REQUIRED LOCATIONS:**  
  - \* SMOKE ALARMS SHALL BE INSTALLED:
    - IN EACH SLEEPING ROOM.
    - OUTSIDE EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF BEDROOMS.
    - ON EVERY STORY OF THE DWELLING, INCLUDING BASEMENTS (IF APPLICABLE).
- 3. BATHROOM CLEARANCE:**  
SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM CONTAINING A BATHTUB OR SHOWER.
- 4. COOKING APPLIANCE CLEARANCE:**  
SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 20 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE, UNLESS LISTED FOR CLOSER INSTALLATION.
- 5. COMBINATION UNITS:**  
COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED WHERE INSTALLED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS AND APPLICABLE CODE REQUIREMENTS.
- 6. POWER SOURCE & INTERCONNECTION:**  
  - \* SMOKE ALARMS SHALL:
    - RECEIVE PRIMARY POWER FROM THE BUILDING ELECTRICAL SYSTEM WHERE COMMERCIAL POWER IS AVAILABLE.
    - BE EQUIPPED WITH A BATTERY BACKUP IN THE EVENT OF POWER INTERRUPTION.
    - BE HARDWIRED AND INTERCONNECTED, SO THAT ACTIVATION OF ONE ALARM CAUSES ALL ALARMS TO SOUND.
    - BE PERMANENTLY WIRED WITHOUT A DISCONNECTING SWITCH, EXCEPT AS REQUIRED FOR OVERCURRENT PROTECTION.



**PROPOSED FIRST FLOOR  
ELECTRICAL PLAN**  
SCALE : 1/4" = 1'-0"

**ELECTRICAL LEGEND**

	DUPLEX OUTLET
	DUPLEX OUTLET ABOVE COUNTER
	DUPLEX OUTLET BELOW COUNTER
	CEILING OUTLET
	FLOOR OUTLET
	GFI
	WEATHER PROOF OUTLET
	220v OUTLET
	EXHAUST FAN
	EXHAUST FAN / LIGHT
	RECESSED CAN LIGHT
	EYEBALL LIGHT
	VAPOR PROTECTED LIGHT
	CEILING LIGHT
	PENDANT LIGHT
	SCONE LIGHT
	WALL LIGHT
	SINGLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CABLE T.V. JACK
	HIGH SPEED INTERNET
	BUTTON
	JUNCTION BOX
	PHONE JACK
	SMOKE DETECTOR
	STROBE SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	INTERCOM
	ELECTRIC METER
	1 BULB FLUORESCENT
	2 BULB FLUORESCENT
	VANITY LIGHTS
	CHIMES
	FLOOD LIGHT (Motion Sensor)
	SPEAKER HARD WIRE
	CEILING FAN W/ LIGHT
	CHANDELIER
	300 AMP ELEC PANEL
	200 AMP ELEC PANEL
	100 AMP ELEC PANEL

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

NO.	REVISION

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SHEET :

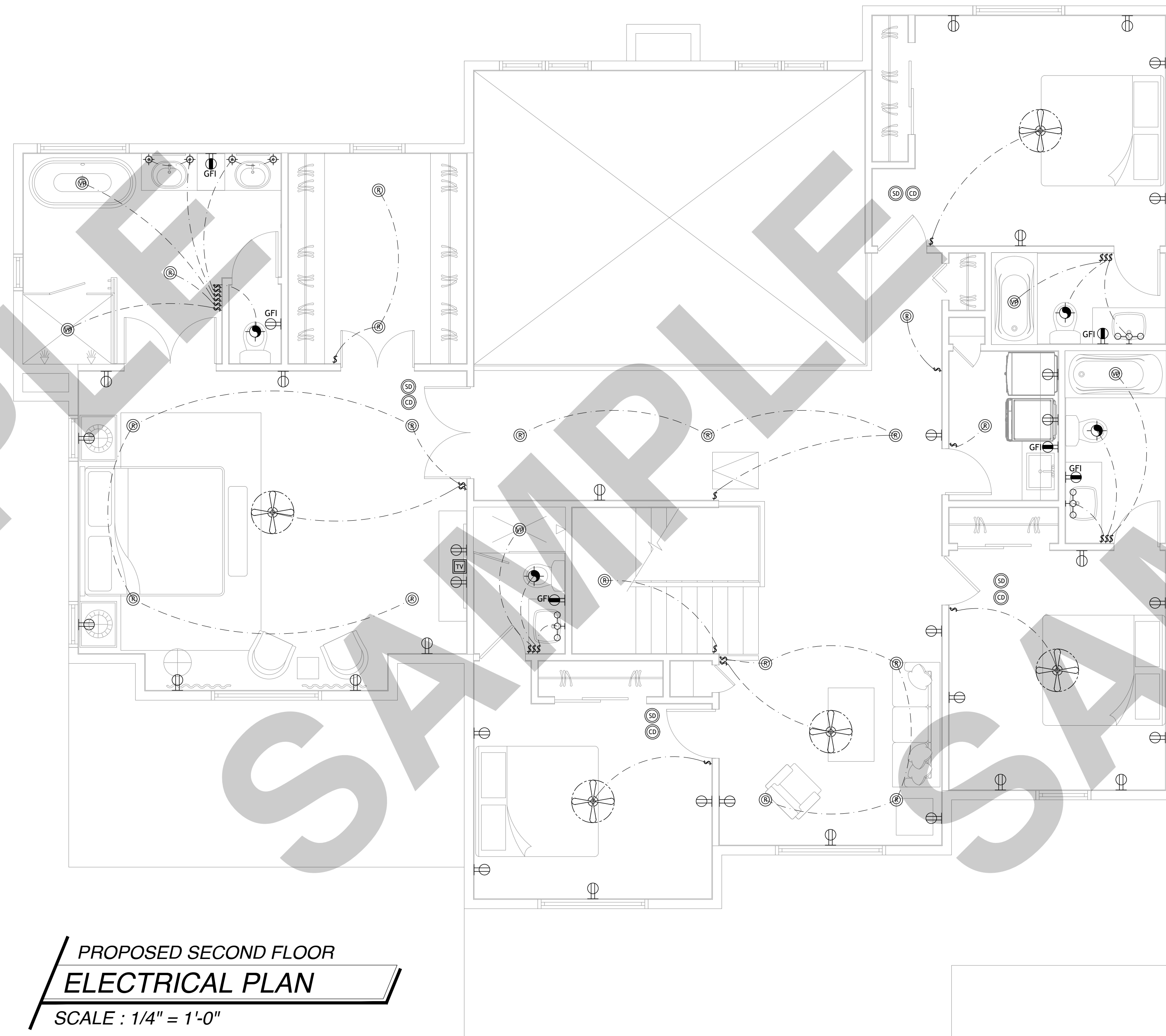
**E1.1**

**ELECTRICAL NOTES**

- 1. FIXTURE APPROVAL:**  
CONTRACTOR AND HOMEOWNER SHALL HAVE FINAL APPROVAL ON ALL FINISHED ELECTRICAL FIXTURES PRIOR TO INSTALLATION.
- 2. CODE COMPLIANCE:**  
ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2020 NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED BY THE 2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC), AND ALL APPLICABLE LOCAL AMENDMENTS.
- 3. ELECTRICAL SERVICE:**  
ALL NEW ELECTRICAL WORK SHALL BE CONNECTED TO AN EXISTING OR NEW CODE-COMPLIANT SINGLE-PHASE ELECTRICAL SERVICE, SIZED TO ACCOMMODATE CALCULATED LOADS.
- 4. WIRING MATERIALS:**  
ALL BRANCH CIRCUIT WIRING SHALL BE COPPER CONDUCTORS ONLY, UNLESS OTHERWISE PERMITTED BY CODE AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- 5. FIXTURE & APPLIANCE CONNECTIONS:**  
THE ELECTRICAL CONTRACTOR SHALL FURNISH AND CONNECT ALL LIGHTING FIXTURES, SWITCHES, RECEPTACLES, AND PERMANENTLY INSTALLED APPLIANCES AS SHOWN ON THE PLANS.
- 6. LICENSED CONTRACTOR:**  
ALL ELECTRICAL WORK SHALL BE PERFORMED BY A VIRGINIA-LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- 7. ENERGY-EFFICIENT LIGHTING:**  
A MINIMUM OF 50% OF ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE ENERGY-EFFICIENT LED FIXTURES, IN COMPLIANCE WITH THE 2021 IECC.
- 8. GROUNDING & BONDING:**  
PROVIDE A COMPLETE GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH NEC ARTICLE 250, INCLUDING BONDING TO FOUNDATION REINFORCING STEEL (UFER GROUND) WHERE APPLICABLE AND VERIFIED.
- 9. SWITCH HEIGHTS:**  
LIGHT SWITCHES SHALL BE INSTALLED AT A MINIMUM HEIGHT OF 30 INCHES ABOVE FINISHED FLOOR (AFF) UNLESS OTHERWISE NOTED ON THE PLANS.
- 10. LOW-VOLTAGE & SPECIALTY SYSTEMS:**  
CONTRACTOR AND OWNER SHALL COORDINATE THE INSTALLATION OF ADDITIONAL LOW-VOLTAGE SYSTEMS, INCLUDING BUT NOT LIMITED TO SECURITY SYSTEMS, DATA, AUDIO, INTERCOM, AND SIMILAR EQUIPMENT.
- 11. AFCI PROTECTION - BEDROOMS:**  
ALL BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS (AFCI) IN ACCORDANCE WITH NEC 210.12.
- 12. AFCI PROTECTION - GENERAL:**  
ALL OUTLETS NOT SPECIFICALLY NOTED AS GFCI-PROTECTED SHALL BE AFCI-PROTECTED WHERE REQUIRED BY NEC 210.12, INCLUDING HABITABLE SPACES SUCH AS LIVING ROOMS, DINING ROOMS, HALLWAYS, AND CLOSETS.

**SMOKE ALARMS**

- 1. GENERAL REQUIREMENT:**  
FOR NEW CONSTRUCTION REQUIRING A BUILDING PERMIT, THE DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS INSTALLED IN THE LOCATIONS REQUIRED BY THE 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) SECTION R314, AS ADOPTED BY THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC).
- 2. REQUIRED LOCATIONS:**  
  - \* SMOKE ALARMS SHALL BE INSTALLED:
    - IN EACH SLEEPING ROOM.
    - OUTSIDE EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF BEDROOMS.
    - ON EVERY STORY OF THE DWELLING, INCLUDING BASEMENTS (IF APPLICABLE).
- 3. BATHROOM CLEARANCE:**  
SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM CONTAINING A BATHTUB OR SHOWER.
- 4. COOKING APPLIANCE CLEARANCE:**  
SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 20 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE, UNLESS LISTED FOR CLOSER INSTALLATION.
- 5. COMBINATION UNITS:**  
COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED WHERE INSTALLED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS AND APPLICABLE CODE REQUIREMENTS.
- 6. POWER SOURCE & INTERCONNECTION:**  
  - \* SMOKE ALARMS SHALL:
    - RECEIVE PRIMARY POWER FROM THE BUILDING ELECTRICAL SYSTEM WHERE COMMERCIAL POWER IS AVAILABLE.
    - BE EQUIPPED WITH A BATTERY BACKUP IN THE EVENT OF POWER INTERRUPTION.
    - BE HARDWIRED AND INTERCONNECTED, SO THAT ACTIVATION OF ONE ALARM CAUSES ALL ALARMS TO SOUND.
    - BE PERMANENTLY WIRED WITHOUT A DISCONNECTING SWITCH, EXCEPT AS REQUIRED FOR OVERCURRENT PROTECTION.



**PROPOSED SECOND FLOOR  
ELECTRICAL PLAN**  
SCALE : 1/4" = 1'-0"

**ELECTRICAL LEGEND**

	DUPLEX OUTLET
	DUPLEX OUTLET ABOVE COUNTER
	DUPLEX OUTLET BELOW COUNTER
	CEILING OUTLET
	FLOOR OUTLET
	GROUND FAULT OUTLET
	WEATHER PROOF OUTLET
	220v OUTLET
	EXHAUST FAN
	EXHAUST FAN / LIGHT
	RECESSED CAN LIGHT
	EYEBALL LIGHT
	VAPOR PROTECTED LIGHT
	CEILING LIGHT
	PENDANT LIGHT
	SCONE LIGHT
	WALL LIGHT
	SINGLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CABLE T.V. JACK
	HIGH SPEED INTERNET
	BUTTON
	JUNCTION BOX
	PHONE JACK
	SMOKE DETECTOR
	STROBE SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	INTERCOM
	ELECTRIC METER
	1 BULB FLUORESCENT
	2 BULB FLUORESCENT
	VANITY LIGHTS
	CHIMES
	FLOOD LIGHT (Motion Sensor)
	SPEAKER HARD WIRE
	CEILING FAN W/LIGHT
	CHANDELIER
	300 AMP ELEC PANEL
	200 AMP ELEC PANEL
	100 AMP ELEC PANEL

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

NO.	REVISION

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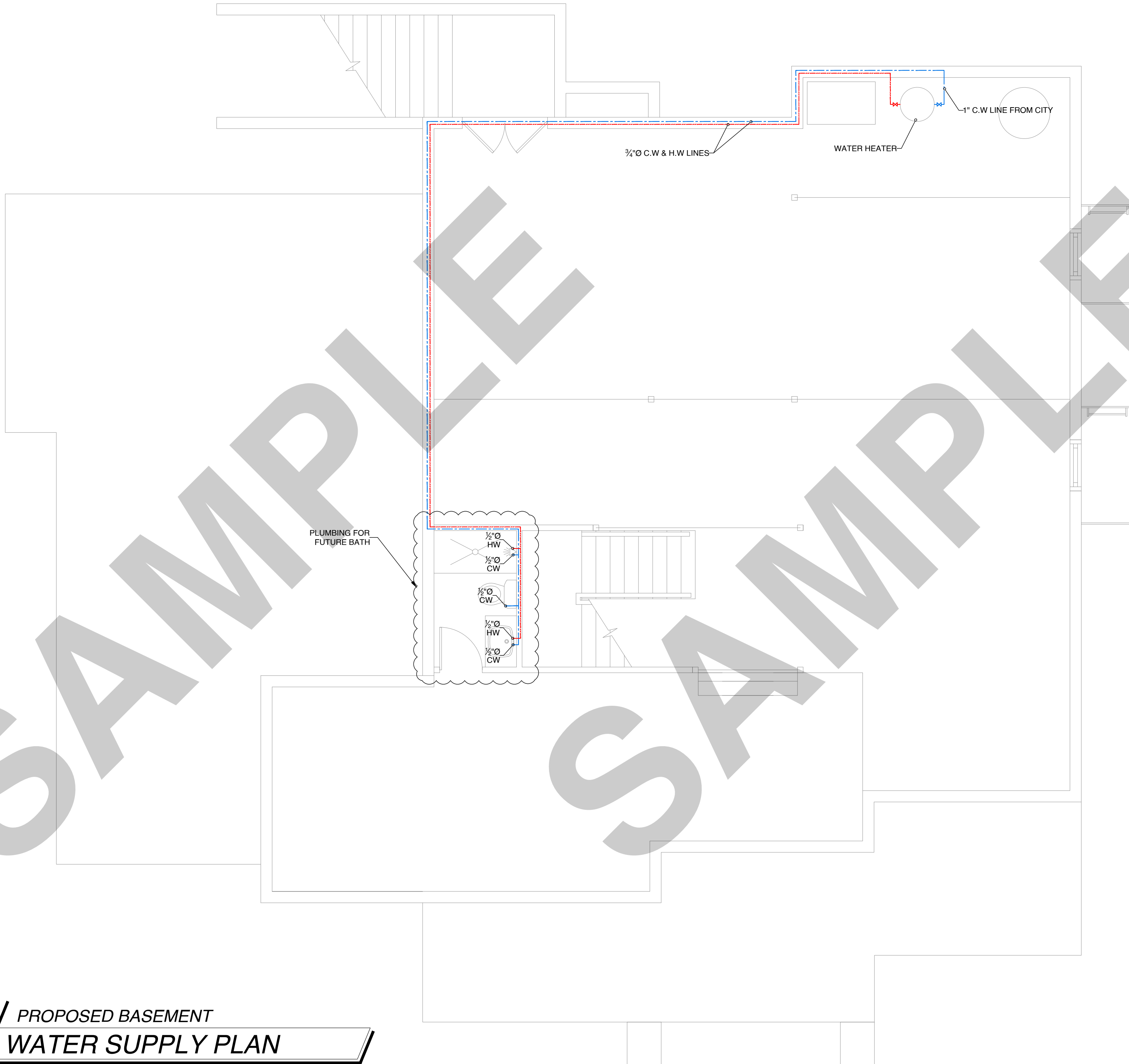
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SAMPLE

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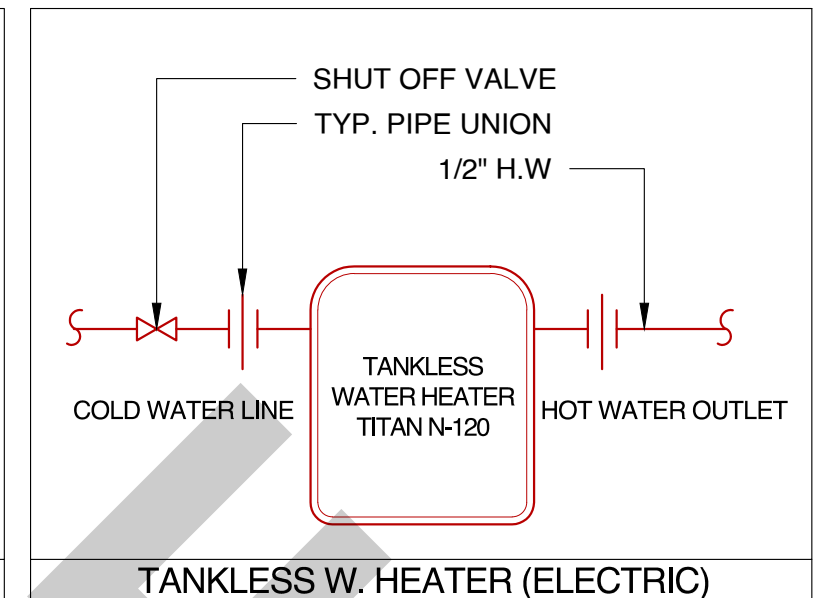
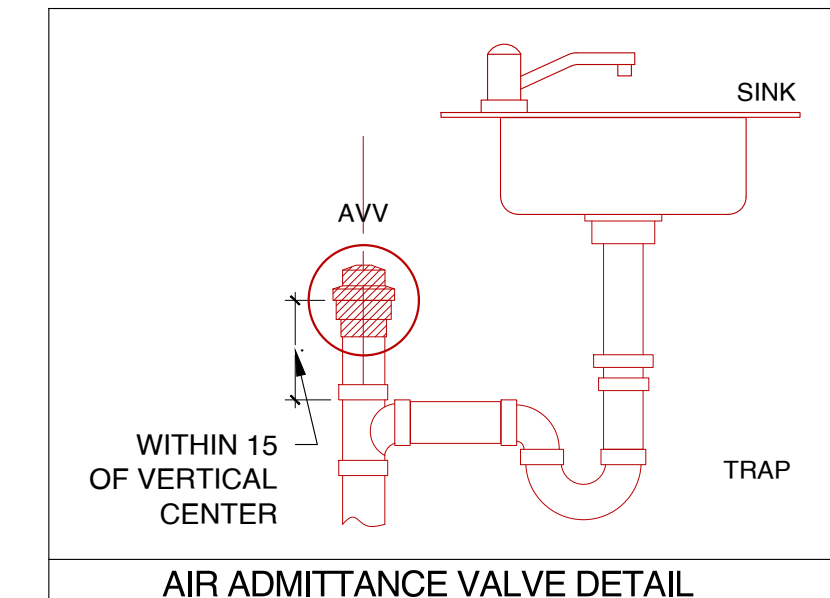
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**PROPOSED BASEMENT  
WATER SUPPLY PLAN**  
SCALE : 1/4" = 1'-0"



PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	COLD WATER (C.W.) LINE.
	HOT WATER (H.W.) LINE.
	SANITARY SEWER LINE.
	GATE VALVE.
	FLOOR CLEAN-OUT.
	CLEAN-OUT TO GRADE.
<b>CW</b>	COLD WATER.
<b>HW</b>	HOT WATER.
<b>VTR</b>	VENT THRU ROOF.
<b>VTW</b>	VENT THRU WALL.

**PLUMBING NOTE**  
 1- ALL SANITARY LINES SHALL BE SLOPED AS FOLLOWS:  
 2" OR SMALLER SHALL BE SLOPED AT 1/4" PER FT.  
 3" OR LARGER SHALL BE SLOPED AT 1/8" PER FT.



PLUMBING FIXTURE CONNECTION SCHEDULE						
MARK	DESCRIPTION	WASTE	VENT	C.W.	H.W.	REMARKS / SPECS
WC	WATER CLOSET.	3"	2"	3/4"	--	FLOOR MOUNTED, TANK TYPE, 1.28 GPF.
LAV	LAVATORY.	2"	2"	1/2"	--	COUNTER TOP, 1.5 GPM.
SW	SHOWER.	2"	2"	1/2"	1/2"	ANTI-SCALDING VALVE, 1.5 GPM HEAD
DW	DISHWASHER.	3/4"	--	1/2"	1/2"	1-1/2" INDIRECT WASTE LINE.
2CSK	TWO COMPARTMENT SINK.	2"	2"	1/2"	1/2"	WALL MTD. 1.5 GPM.
JSK	JANITOR SINK.	2"	2"	1/2"	1/2"	STAINLESS STEEL SINK FLOOR MTD. WITH HOSE AND YOKE. 1.5 GPM.
R	REFRIGERATOR.	--	--	1/2"	--	WALL MOUNTED BOX WITH VALVE AND FLEX CONNECTION.
WM	WASHER MACHINE.	3"	2"	1/2"	1/2"	WALL MTD. RECESSED BOX WITH 2 TRAP; VALVED WATER CONNECTION.
HB	HOSE BIBB.	--	--	3/4"	--	VACUUM BREAKER

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

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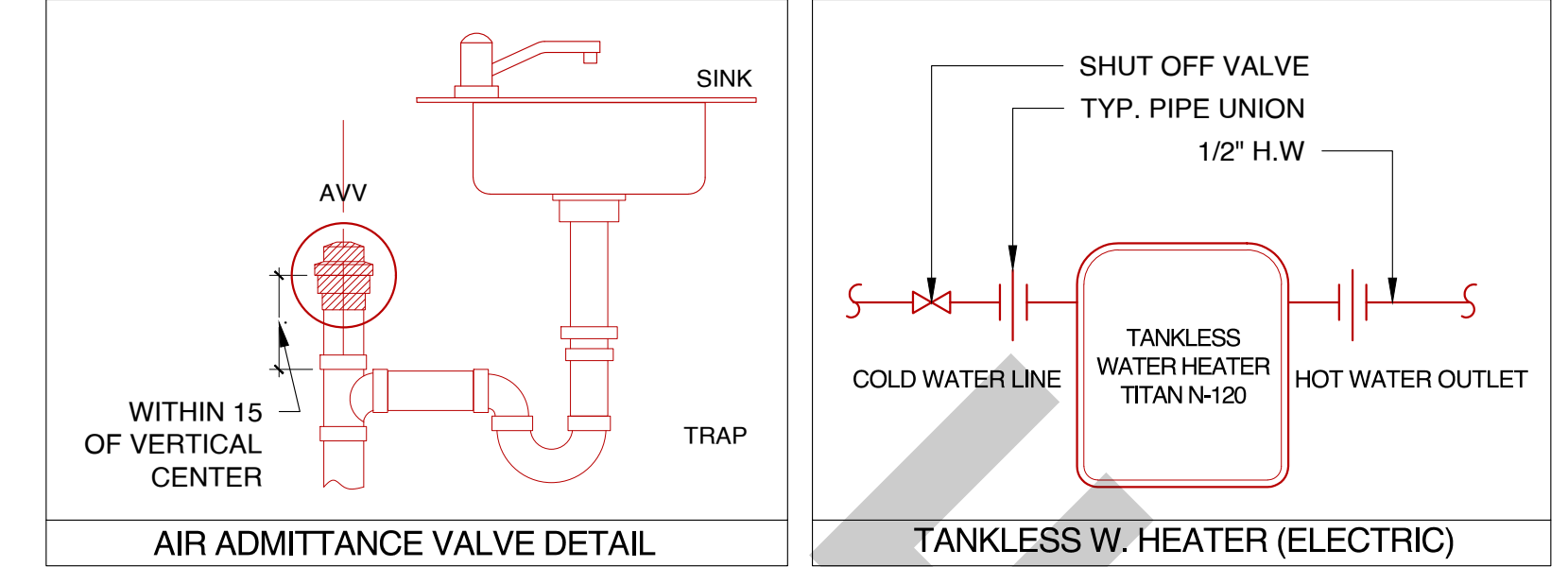
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SAMPLE

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	COLD WATER (C.W.) LINE.
	HOT WATER (H.W.) LINE.
	SANITARY SEWER LINE.
	GATE VALVE.
	FLOOR CLEAN-OUT.
	CLEAN-OUT TO GRADE.
<b>CW</b>	COLD WATER.
<b>HW</b>	HOT WATER.
<b>VTR</b>	VENT THRU ROOF.
<b>VTW</b>	VENT THRU WALL.

**PLUMBING NOTE**

1- ALL SANITARY LINES SHALL BE SLOPED AS FOLLOWS:  
 2" OR SMALLER SHALL BE SLOPED AT 1/4" PER FT.  
 3" OR LARGER SHALL BE SLOPED AT 1/8" PER FT.



PLUMBING FIXTURE CONNECTION SCHEDULE						
MARK	DESCRIPTION	WASTE	VENT	C.W.	H.W.	REMARKS / SPECS
WC	WATER CLOSET.	3"	2"	3/4"	--	FLOOR MOUNTED, TANK TYPE, 1.28 GPF.
LAV	LAVATORY.	2"	2"	1/2"	--	COUNTER TOP, 1.5 GPM.
SW	SHOWER.	2"	2"	1/2"	1/2"	ANTI-SCALDING VALVE, 1.5 GPM HEAD
DW	DISHWASHER.	3/4"	--	1/2"	1/2"	1-1/2" INDIRECT WASTE LINE.
2CSK	TWO COMPARTMENT SINK.	2"	2"	1/2"	1/2"	WALL MTD. 1.5 GPM.
JSK	JANITOR SINK.	2"	2"	1/2"	1/2"	STAINLESS STEEL SINK FLOOR MTD. WITH HOSE AND YOKE. 1.5 GPM.
R	REFRIGERATOR.	--	--	1/2"	--	WALL MOUNTED BOX WITH VALVE AND FLEX CONNECTION.
WM	WASHER MACHINE.	3"	2"	1/2"	1/2"	WALL MTD. RECESSED BOX WITH 2" TRAP; VALVED WATER CONNECTION.
HB	HOSE BIBB.	--	--	3/4"	--	VACUUM BREAKER

**PROPOSED FIRST FLOOR  
 WATER SUPPLY PLAN**  
 SCALE : 1/4" = 1'-0"

1" C.W. LINE FROM CITY

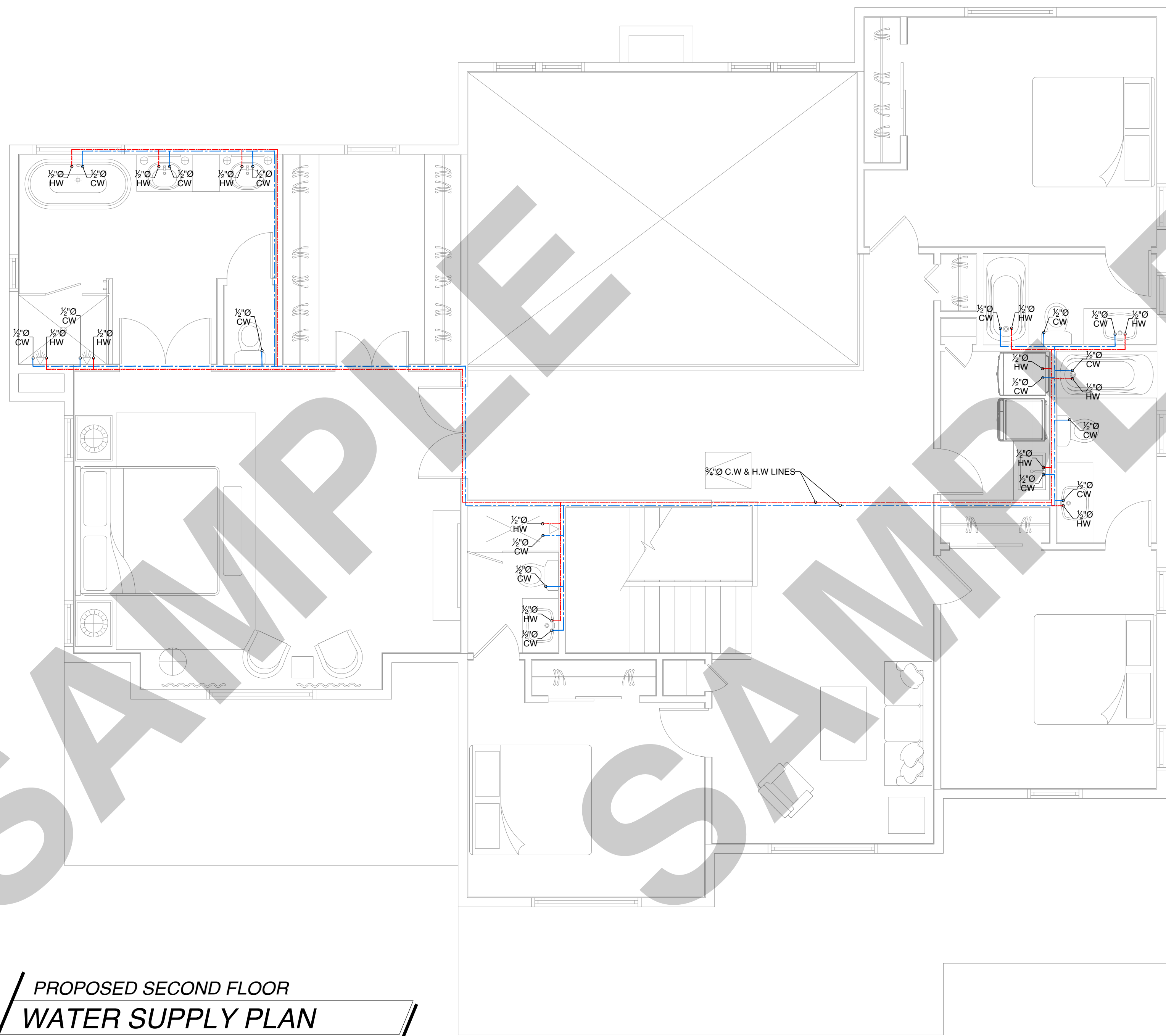
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**NEW CONSTRUCTION OF  
 TWO STORY HOUSE**

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 DATE :  
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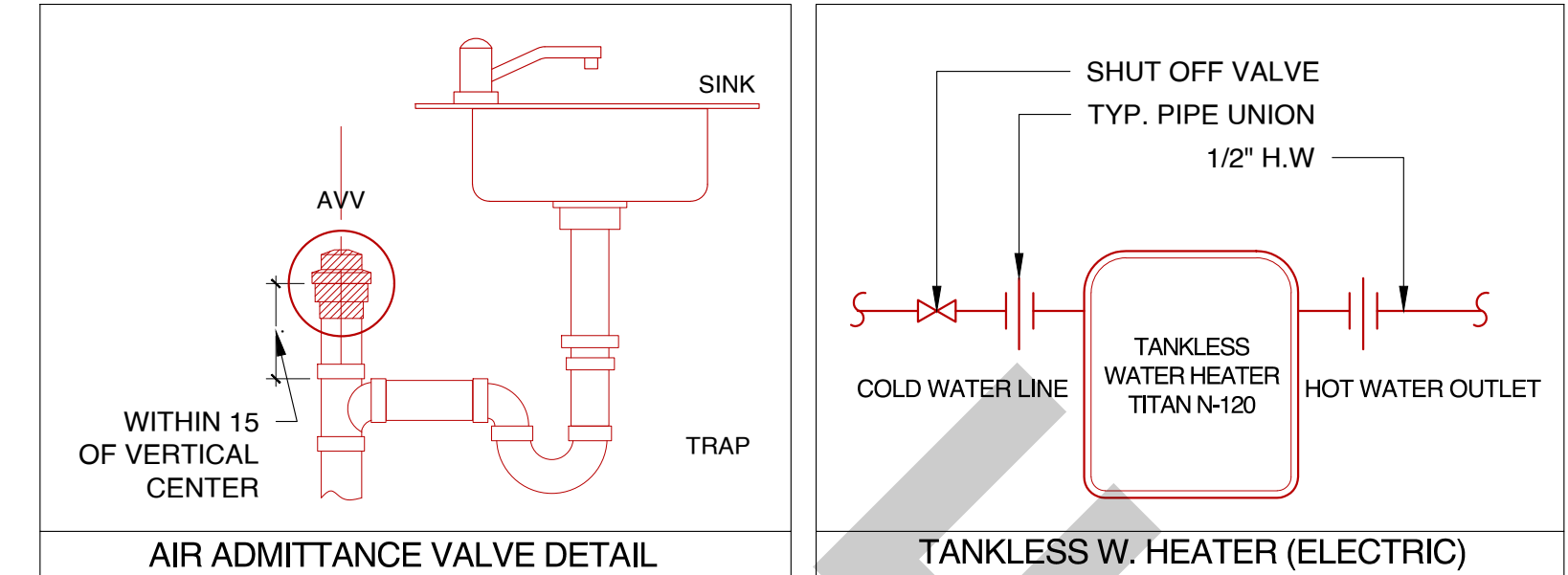


**PROPOSED SECOND FLOOR  
WATER SUPPLY PLAN**

SCALE : 1/4" = 1'-0"

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	COLD WATER (C.W.) LINE.
	HOT WATER (H.W.) LINE.
	SANITARY SEWER LINE.
	GATE VALVE.
	FLOOR CLEAN-OUT.
	CLEAN-OUT TO GRADE.
<b>CW</b>	COLD WATER.
<b>HW</b>	HOT WATER.
<b>VTR</b>	VENT THRU ROOF.
<b>VTW</b>	VENT THRU WALL.

**PLUMBING NOTE**  
 1- ALL SANITARY LINES SHALL BE SLOPED AS FOLLOWS:  
 2" OR SMALLER SHALL BE SLOPED AT 1/4" PER FT.  
 3" OR LARGER SHALL BE SLOPED AT 1/8" PER FT.



PLUMBING FIXTURE CONNECTION SCHEDULE						
MARK	DESCRIPTION	WASTE	VENT	C.W.	H.W.	REMARKS / SPECS
WC	WATER CLOSET.	3"	2"	3/4"	--	FLOOR MOUNTED, TANK TYPE, 1.28 GPF.
LAV	LAVATORY.	2"	2"	1/2"	--	COUNTER TOP, 1.5 GPM.
SW	SHOWER.	2"	2"	1/2"	1/2"	ANTI-SCALDING VALVE, 1.5 GPM HEAD
DW	DISHWASHER.	3/4"	--	1/2"	1/2"	1-1/2" INDIRECT WASTE LINE.
2CSK	TWO COMPARTMENT SINK.	2"	2"	1/2"	1/2"	WALL MTD. 1.5 GPM.
JSK	JANITOR SINK.	2"	2"	1/2"	1/2"	STAINLESS STEEL SINK FLOOR MTD. WITH HOSE AND YOKE. 1.5 GPM.
R	REFRIGERATOR.	--	--	1/2"	--	WALL MOUNTED BOX WITH VALVE AND FLEX CONNECTION.
WM	WASHER MACHINE.	3"	2"	1/2"	1/2"	WALL MTD. RECESSED BOX WITH 2" TRAP; VALVED WATER CONNECTION.
HB	HOSE BIBB.	--	--	3/4"	--	VACUUM BREAKER

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

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DATE:

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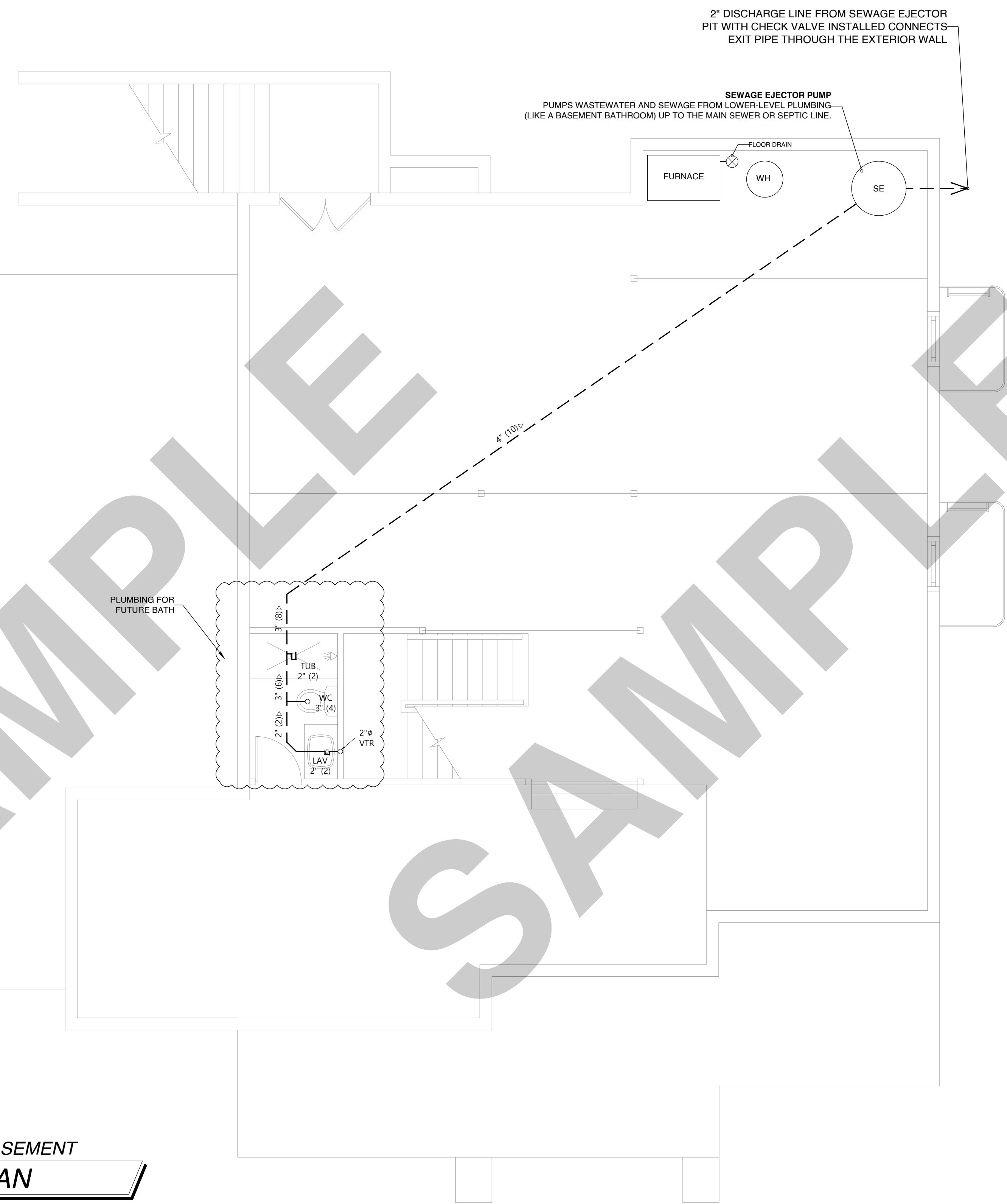
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SAMPLE

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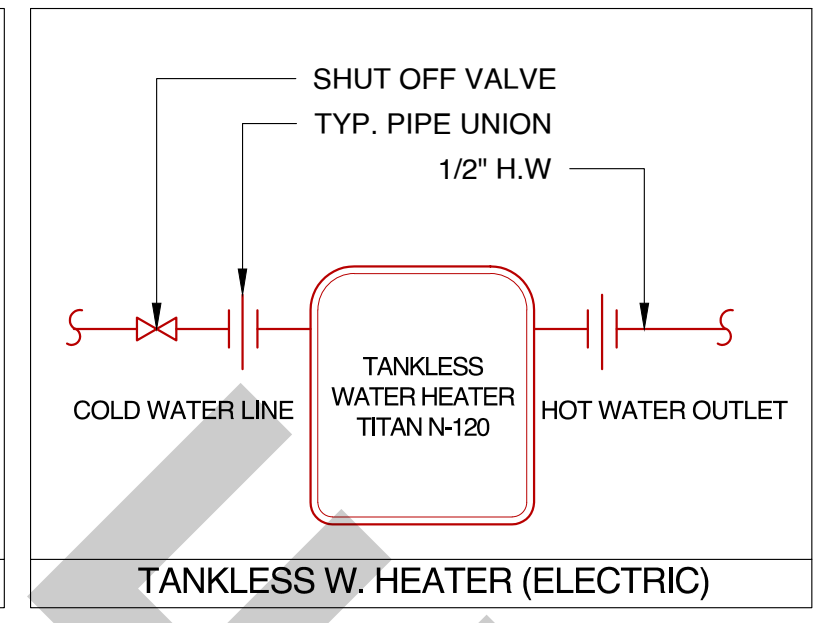
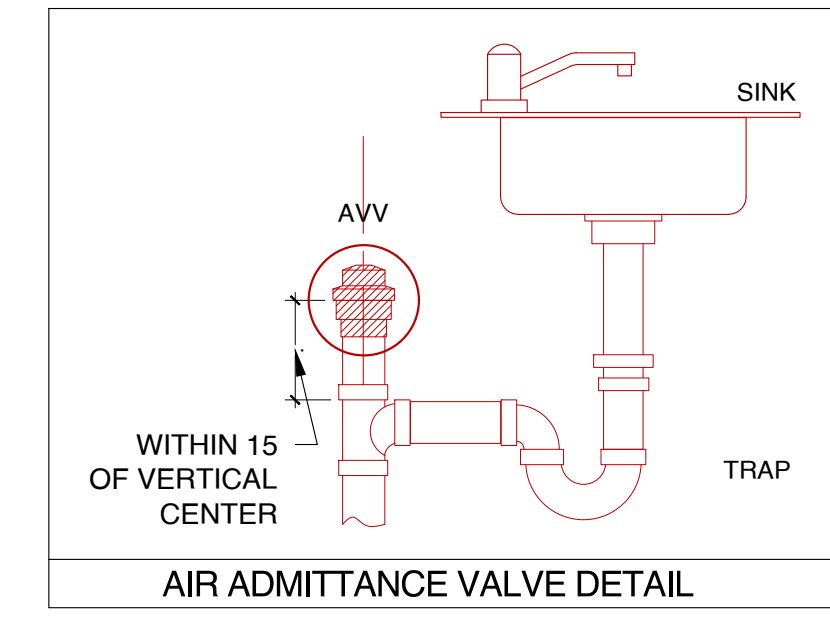
SAMPLE

**PROPOSED BASEMENT  
SEWER PLAN**  
SCALE : 1/4" = 1'-0"



PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	COLD WATER (C.W.) LINE.
	HOT WATER (H.W.) LINE.
	SANITARY SEWER LINE.
	GATE VALVE.
	FLOOR CLEAN-OUT.
	CLEAN-OUT TO GRADE.
<b>CW</b>	COLD WATER.
<b>HW</b>	HOT WATER.
<b>VTR</b>	VENT THRU ROOF.
<b>VTW</b>	VENT THRU WALL.

**PLUMBING NOTE**  
1- ALL SANITARY LINES SHALL BE SLOPED AS FOLLOWS:  
2" OR SMALLER SHALL BE SLOPED AT 1/4" PER FT.  
3" OR LARGER SHALL BE SLOPED AT 1/8" PER FT.



PLUMBING FIXTURE CONNECTION SCHEDULE						
MARK	DESCRIPTION	WASTE	VENT	C.W.	H.W.	REMARKS / SPECS
WC	WATER CLOSET.	3"	2"	3/4"	--	FLOOR MOUNTED, TANK TYPE, 1.28 GPF.
LAV	LAVATORY.	2"	2"	1/2"	--	COUNTER TOP, 1.5 GPM.
SW	SHOWER.	2"	2"	1/2"	1/2"	ANTI-SCALDING VALVE, 1.5 GPM HEAD
DW	DISHWASHER.	3/4"	--	1/2"	1/2"	1-1/2" INDIRECT WASTE LINE.
2CSK	TWO COMPARTMENT SINK.	2"	2"	1/2"	1/2"	WALL MTD. 1.5 GPM.
JSK	JANITOR SINK.	2"	2"	1/2"	1/2"	STAINLESS STEEL SINK FLOOR MTD. WITH HOSE AND YOKE. 1.5 GPM.
R	REFRIGERATOR.	--	--	1/2"	--	WALL MOUNTED BOX WITH VALVE AND FLEX CONNECTION.
WM	WASHER MACHINE.	3"	2"	1/2"	1/2"	WALL MTD. RECESSED BOX WITH 2" TRAP; VALVED WATER CONNECTION.
HB	HOSE BIBB.	--	--	3/4"	--	VACUUM BREAKER

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

NO.	REVISION

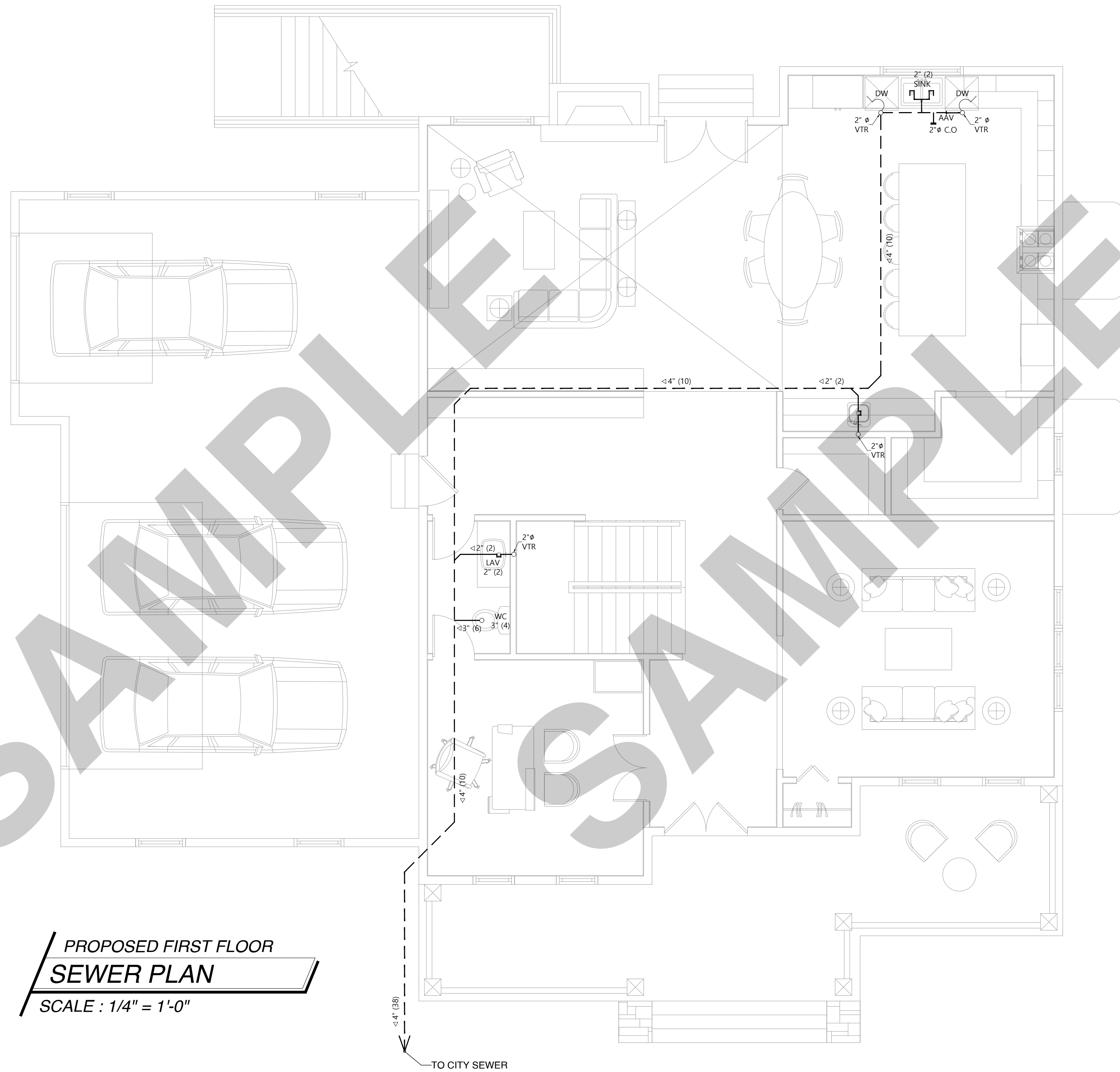
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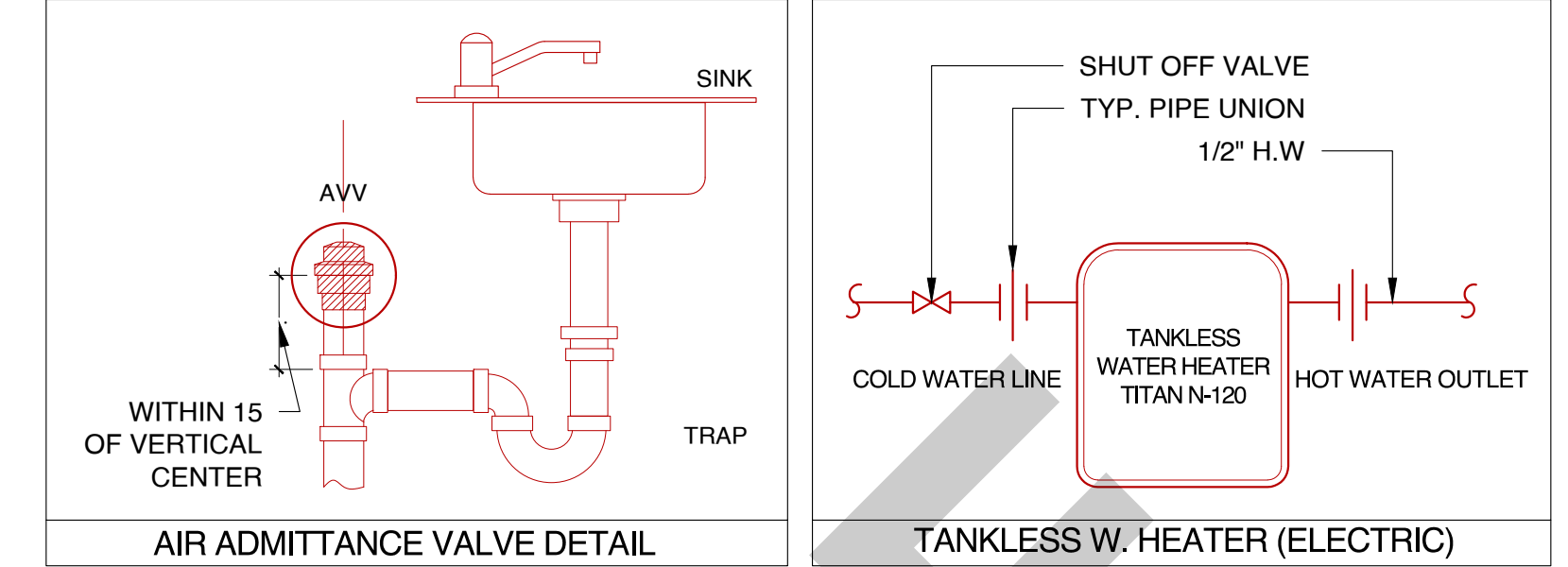
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**PROPOSED FIRST FLOOR  
SEWER PLAN**  
SCALE : 1/4" = 1'-0"

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	COLD WATER (C.W.) LINE.
	HOT WATER (H.W.) LINE.
	SANITARY SEWER LINE.
	GATE VALVE.
	FLOOR CLEAN-OUT.
	CLEAN-OUT TO GRADE.
<b>CW</b>	COLD WATER.
<b>HW</b>	HOT WATER.
<b>VTR</b>	VENT THRU ROOF.
<b>VTW</b>	VENT THRU WALL.

**PLUMBING NOTE**  
 1- ALL SANITARY LINES SHALL BE SLOPED AS FOLLOWS:  
 2" OR SMALLER SHALL BE SLOPED AT 1/4" PER FT.  
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PLUMBING FIXTURE CONNECTION SCHEDULE						
MARK	DESCRIPTION	WASTE	VENT	C.W.	H.W.	REMARKS / SPECS
WC	WATER CLOSET.	3"	2"	3/4"	--	FLOOR MOUNTED, TANK TYPE, 1.28 GPF.
LAV	LAVATORY.	2"	2"	1/2"	--	COUNTER TOP, 1.5 GPM.
SW	SHOWER.	2"	2"	1/2"	1/2"	ANTI-SCALDING VALVE, 1.5 GPM HEAD
DW	DISHWASHER.	3/4"	--	1/2"	1/2"	1-1/2" INDIRECT WASTE LINE.
2CSK	TWO COMPARTMENT SINK.	2"	2"	1/2"	1/2"	WALL MTD. 1.5 GPM.
JSK	JANITOR SINK.	2"	2"	1/2"	1/2"	STAINLESS STEEL SINK FLOOR MTD. WITH HOSE AND YOKE. 1.5 GPM.
R	REFRIGERATOR.	--	--	1/2"	--	WALL MOUNTED BOX WITH VALVE AND FLEX CONNECTION.
WM	WASHER MACHINE.	3"	2"	1/2"	1/2"	WALL MTD. RECESSED BOX WITH 2 TRAP; VALVED WATER CONNECTION.
HB	HOSE BIBB.	--	--	3/4"	--	VACUUM BREAKER

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

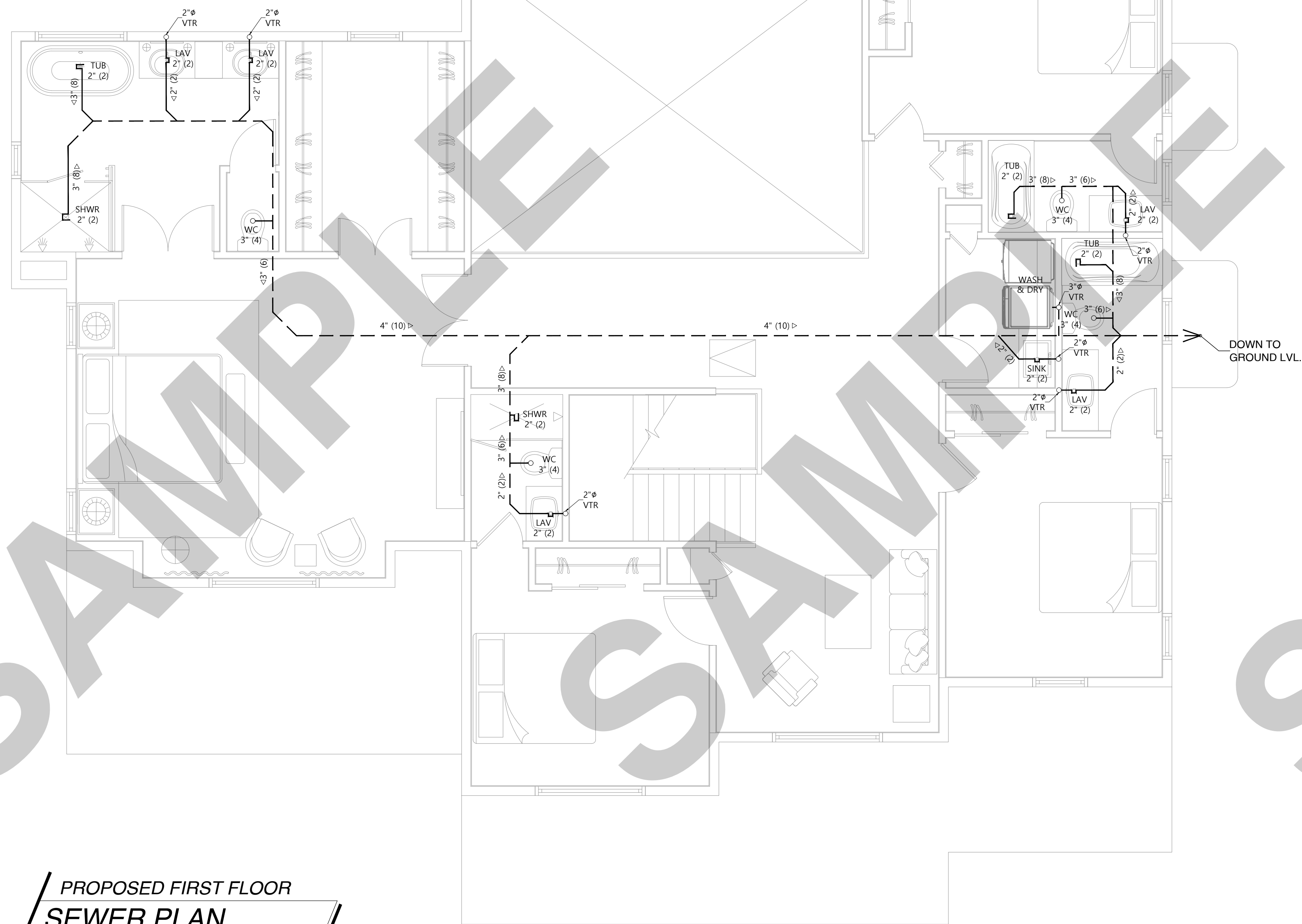
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DRAWING NO.:

DATE:

DRAWN BY:

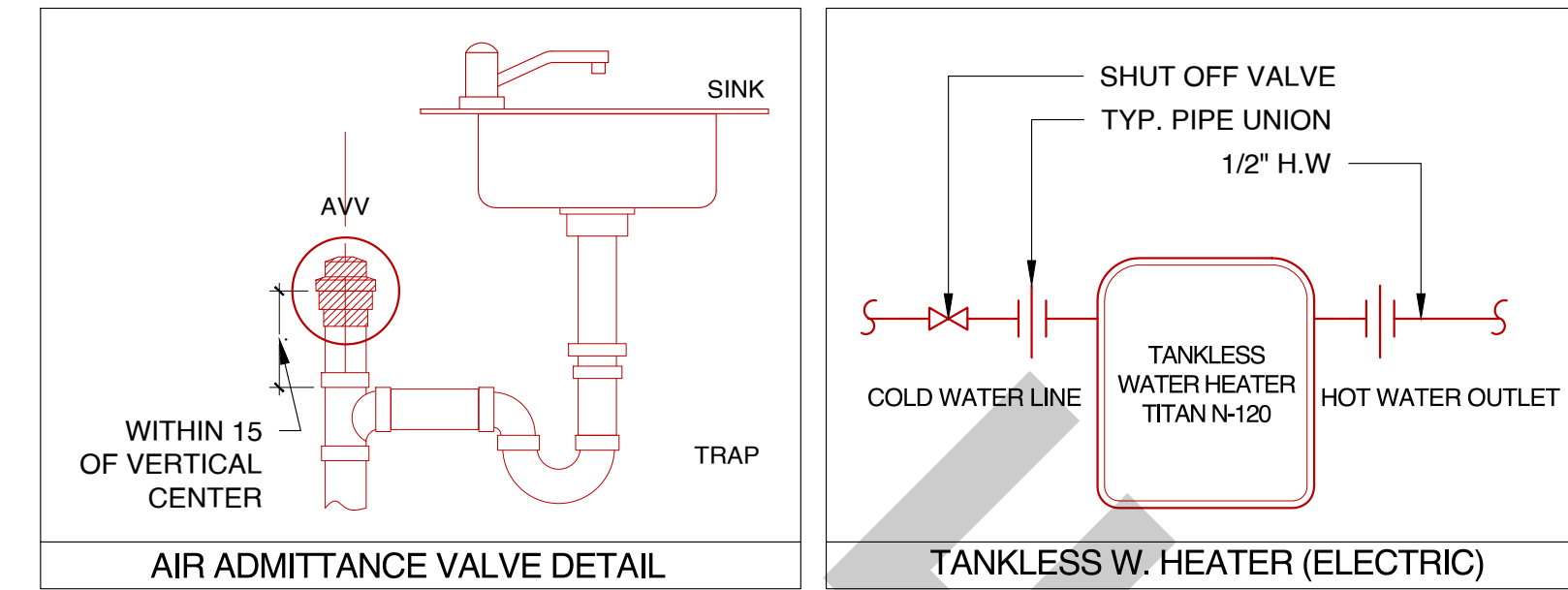
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**PROPOSED FIRST FLOOR  
SEWER PLAN**  
SCALE : 1/4" = 1'-0"

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	COLD WATER (C.W.) LINE.
	HOT WATER (H.W.) LINE.
	SANITARY SEWER LINE.
	GATE VALVE.
	FLOOR CLEAN-OUT.
	CLEAN-OUT TO GRADE.
<b>CW</b>	COLD WATER.
<b>HW</b>	HOT WATER.
<b>VTR</b>	VENT THRU ROOF.
<b>VTW</b>	VENT THRU WALL.

**PLUMBING NOTE**  
 1- ALL SANITARY LINES SHALL BE SLOPED AS FOLLOWS:  
 2" OR SMALLER SHALL BE SLOPED AT 1/4" PER FT.  
 3" OR LARGER SHALL BE SLOPED AT 1/8" PER FT.



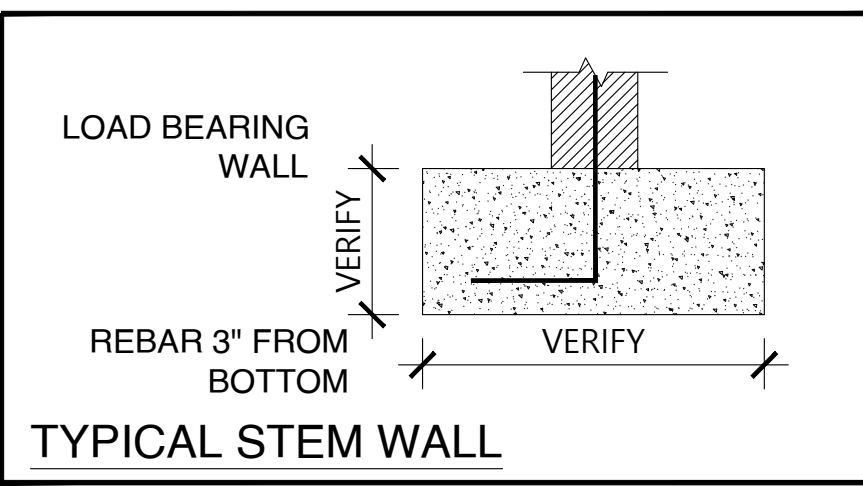
PLUMBING FIXTURE CONNECTION SCHEDULE						
MARK	DESCRIPTION	WASTE	VENT	C.W.	H.W.	REMARKS / SPECS
WC	WATER CLOSET.	3"	2"	3/4"	--	FLOOR MOUNTED, TANK TYPE, 1.28 GPF.
LAV	LAVATORY.	2"	2"	1/2"	--	COUNTER TOP, 1.5 GPM.
SW	SHOWER.	2"	2"	1/2"	1/2"	ANTI-SCALDING VALVE, 1.5 GPM HEAD
DW	DISHWASHER.	3/4"	--	1/2"	1/2"	1-1/2" INDIRECT WASTE LINE.
2CSK	TWO COMPARTMENT SINK.	2"	2"	1/2"	1/2"	WALL MTD. 1.5 GPM.
JSK	JANITOR SINK.	2"	2"	1/2"	1/2"	STAINLESS STEEL SINK FLOOR MTD. WITH HOSE AND YOKE. 1.5 GPM.
R	REFRIGERATOR.	--	--	1/2"	--	WALL MOUNTED BOX WITH VALVE AND FLEX CONNECTION.
WM	WASHER MACHINE.	3"	2"	1/2"	1/2"	WALL MTD. RECESSED BOX WITH 2" TRAP; VALVED WATER CONNECTION.
HB	HOSE BIBB.	--	--	3/4"	--	VACUUM BREAKER

STAMP

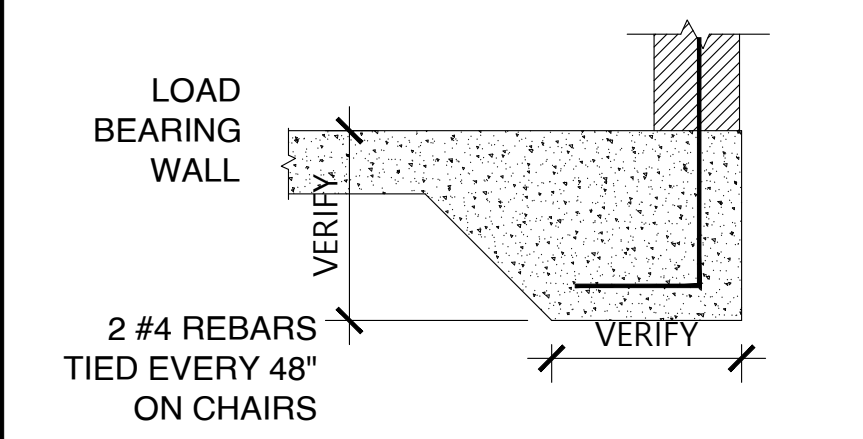
**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

NO.	REVISION

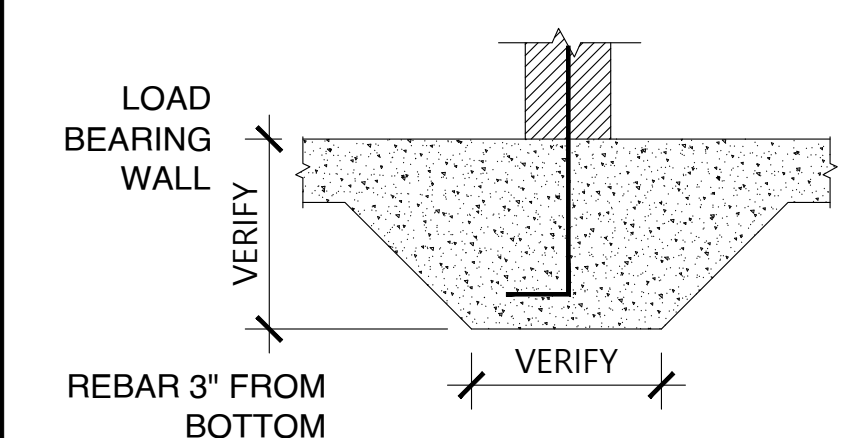
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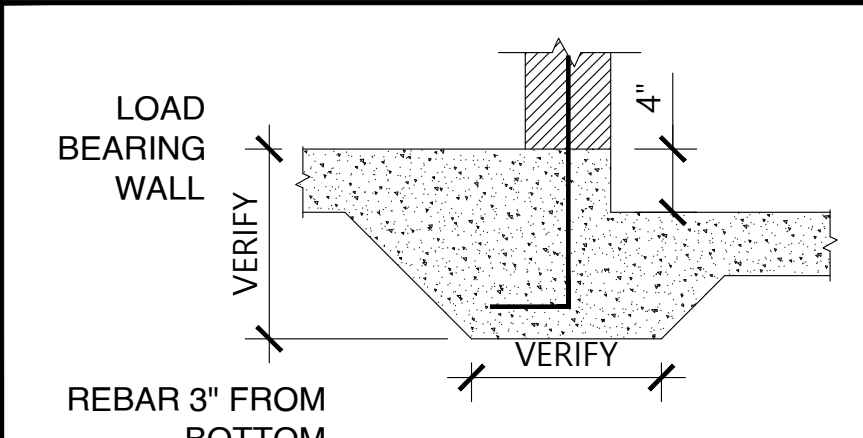
TYPICAL STEM WALL



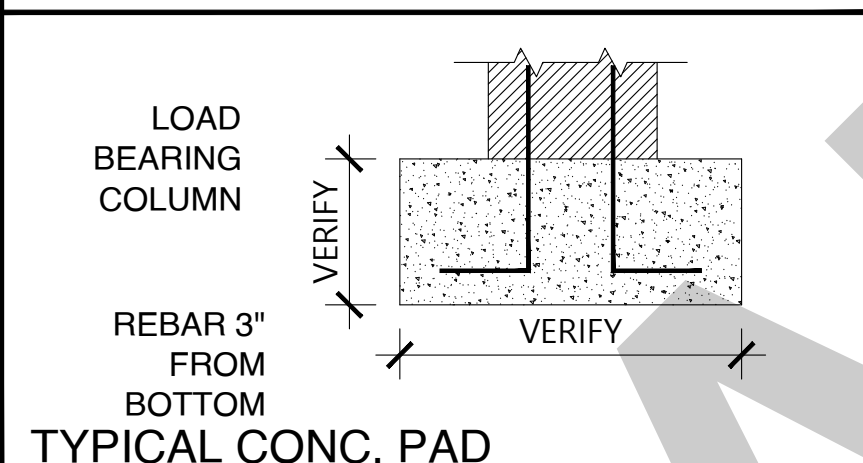
TYPICAL MONO FOOTER



TYPICAL INTERIOR FOOTING



TYPICAL STEP DOWN FOOTING



TYPICAL CONC. PAD

FOOTING SCHEDULE

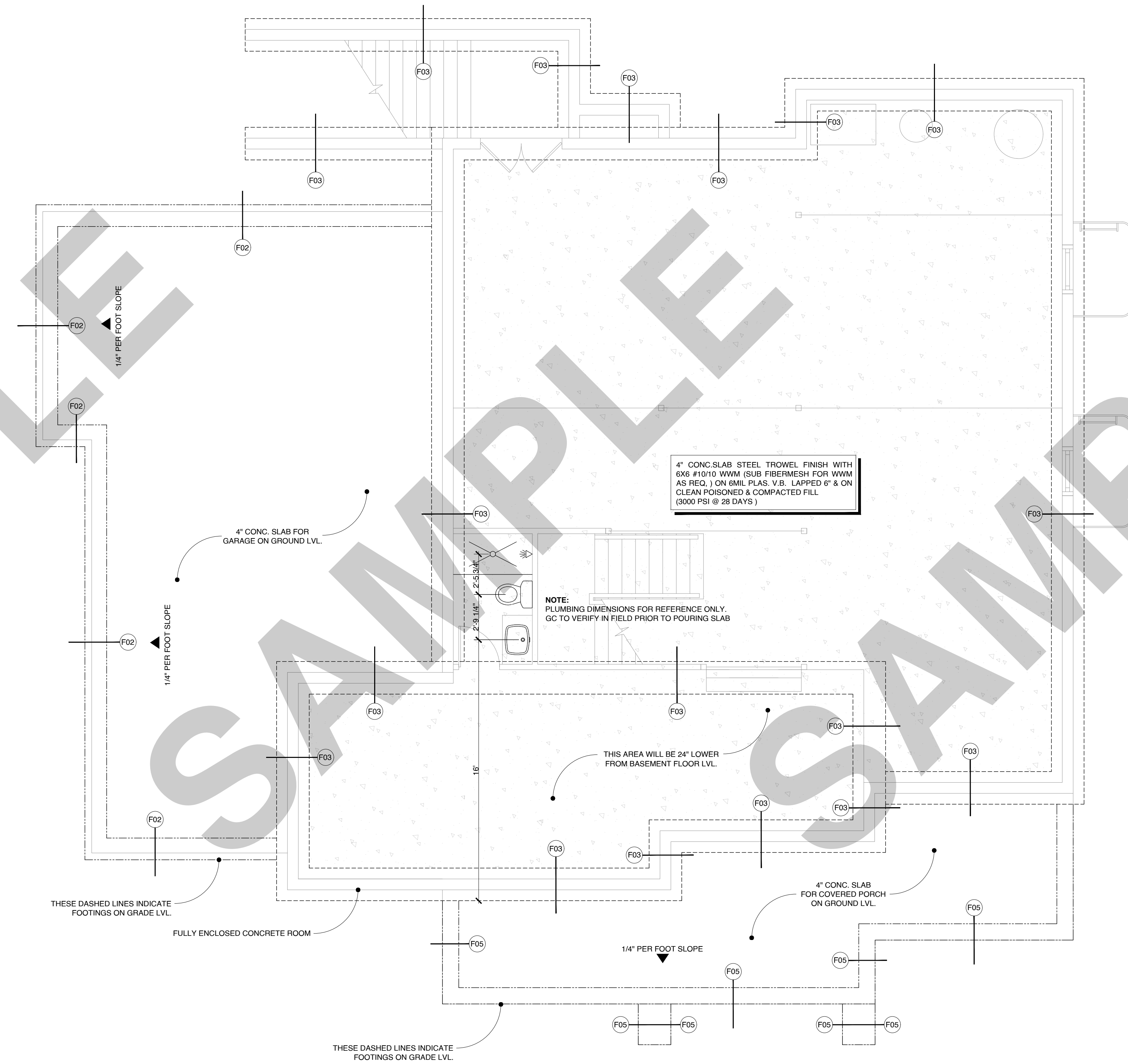
MARK	TYPE	SIZE (W x D)	REBAR
F01	STEM WALL	12" x 8"	(2) #5
F02	STEM WALL	16" x 10"	(3) #5
F03	STEM WALL	24" x 12"	(3) #5
F04	STEM WALL	30" x 12"	(4) #5
F05	MONO FOOTER	12" x 8"	(2) #5
F06	MONO FOOTER	12" x 20"	(2) #5
F07	MONO FOOTER	16" x 20"	(3) #5
F08	INTERIOR FOOTING	12" x 12"	(2) #5
F09	INTERIOR FOOTING	16" x 16"	(2) #5
F10	STEP DOWN FOOTING	12" x 12"	(2) #5
F11	STEP DOWN FOOTING	16" x 16"	(2) #5

PAD SCHEDULE

MARK	TYPE	SIZE (W x L x D)	REBAR
P01	CONC. PAD	1'-0" x 1'-0" x 1'-0"	(2) #5 EA. WAY
P1.5	CONC. PAD	1'-6" x 1'-6" x 1'-0"	(2) #5 EA. WAY
P02	CONC. PAD	2'-0" x 2'-0" x 1'-0"	(3) #5 EA. WAY
P2.5	CONC. PAD	2'-6" x 2'-6" x 1'-0"	(3) #5 EA. WAY
P03	CONC. PAD	3'-0" x 3'-0" x 1'-4"	(4) #5 EA. WAY
P3.5	CONC. PAD	3'-6" x 3'-6" x 1'-4"	(5) #5 EA. WAY
P04	CONC. PAD	4'-0" x 4'-0" x 1'-4"	(5) #5 EA. WAY

FOUNDATION NOTES

1. VERIFY ALL DIMENSIONS & ELEVATIONS WITH ARCHITECTURAL DRAWINGS. SEE ARCHITECTURAL & MEP FOR ADDITIONAL INFORMATION.
2. FLOOR SLAB IS A 4" MINIMUM THICKNESS CONCRETE SLAB ON GRADE. REINFORCE WITH 6 x 6-W1.4xW1.4 WWF AT MID DEPTH. SEE DETAIL DRAWINGS FOR VAPOR BARRIER.
3. CENTERLINES OF WALLS AND COLUMNS SHALL COINCIDE WITH CENTERLINES OF FOOTINGS UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL BACKFILL SIMULTANEOUSLY ON EACH SIDE OF FOUNDATION WALLS.
7. FOUNDATION WALLS WHICH HAVE UNEVEN BACKFILLS SHALL BE TEMPORARILY SHORED UNTIL FLOOR SLABS ARE POURED. SEE DETAIL.
8. CONTRACTOR TO PROVIDE FRENCH DRAIN TO BUBBLER AS REQ.
9. IF NOT SHOWN ON PLAN FILLED CELLS TO BE 4'-0"(2-STORY) O.C. OR 6'-8" O.C (SINGLE STORY) MAX.
10. GIRDER TRUSSES SET ON CMU WALLS TO HAVE FILLED CELL BELOW TYPICAL.
11. SEE PAGE S1.0 FOR BUILDING SPECIFICATIONS, CONSTRUCTION NOTES, SCOPE OF WORK AND DESIGN CRITERIA.
12. ALL GIRDER TRUSSES SET ON CMU WALLS TO HAVE FILLED CELLS DIRECTLY ABOVE.



PROPOSED  
**FOUNDATION PLAN**  
 SCALE : 1/4" = 1'-0"

STAMP

NEW CONSTRUCTION OF  
 TWO STORY HOUSE

NO.	REVISION

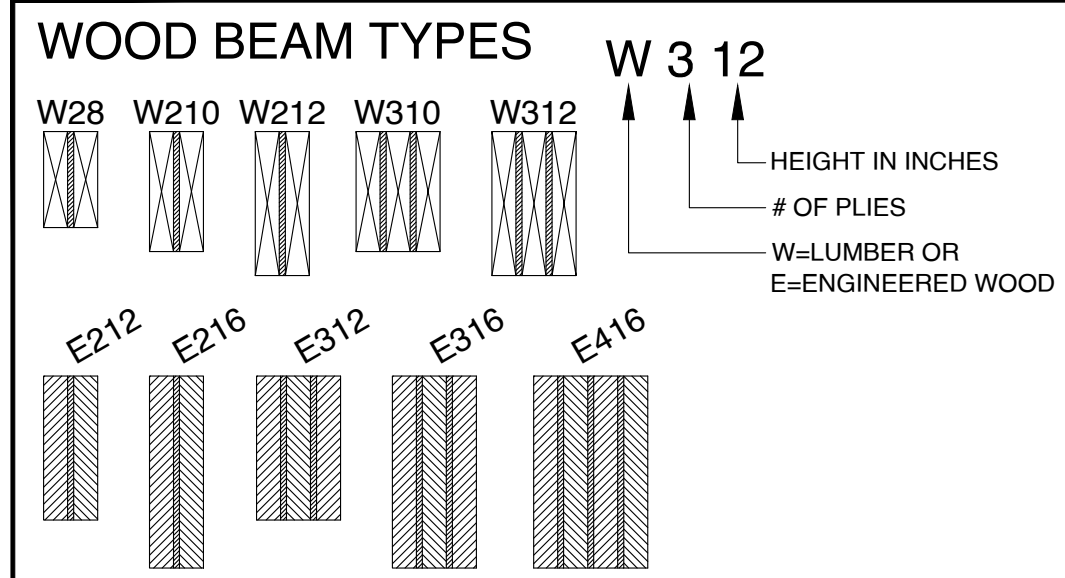
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**S1.0**

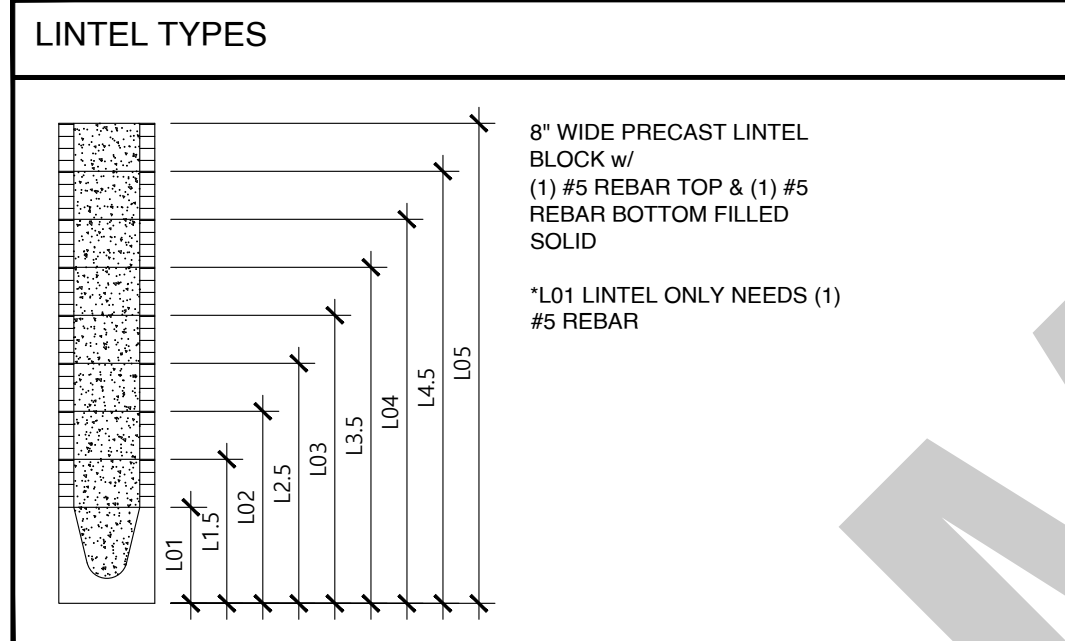


**WOOD BEAM SCHEDULE** \*ALL EXPOSED WOOD TO BE PRESSURE TREATED

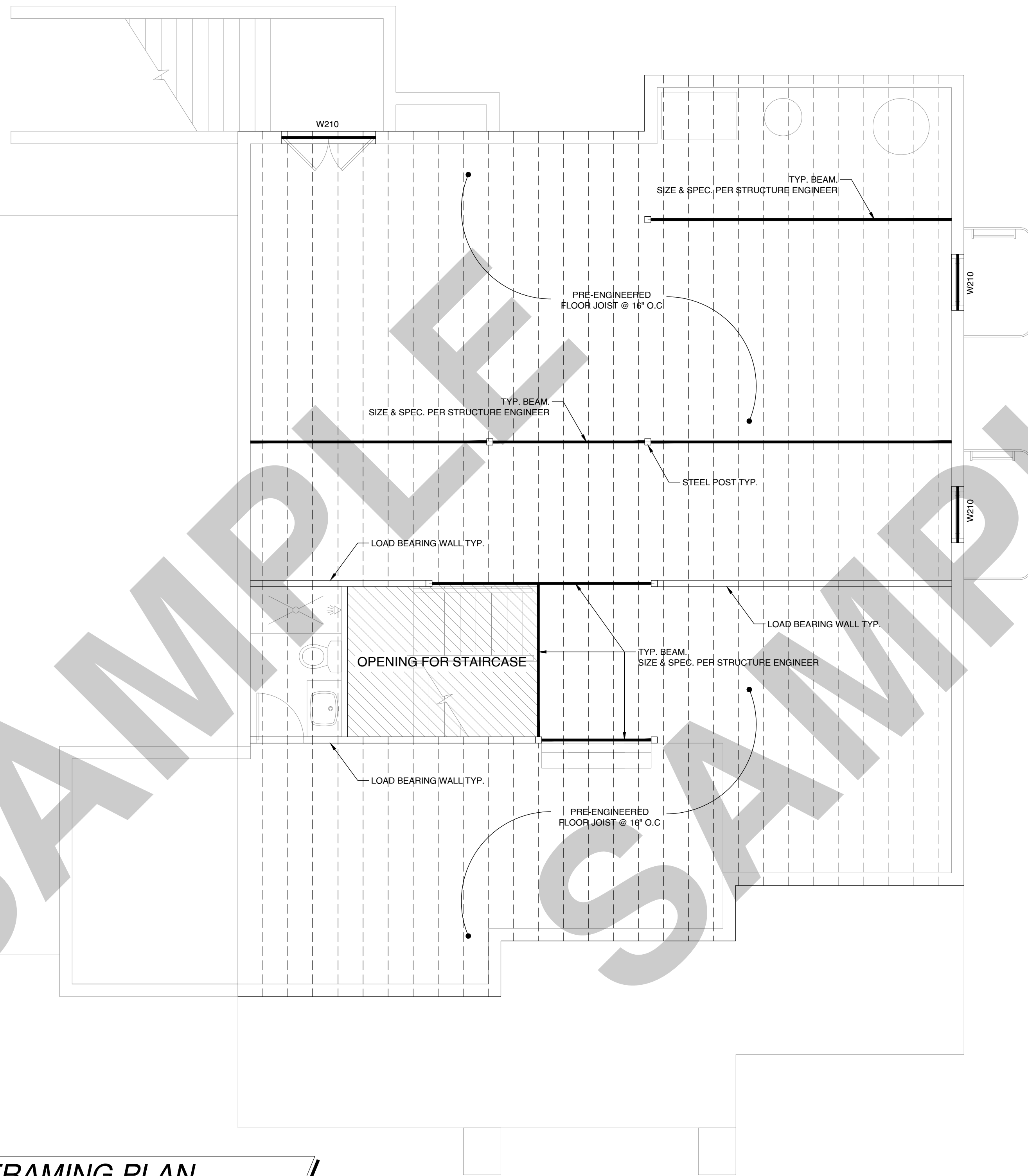
MARK	TYPE	SIZE (W x D)	PLY	GRADE
W28	SOLID SAWN	2"x8"	2	No. 2
W210	SOLID SAWN	2"x10"	2	No. 2
W212	SOLID SAWN	2"x12"	2	No. 2
W310	SOLID SAWN	2"x10"	3	No. 2
W312	SOLID SAWN	2"x12"	3	No. 2
E212	ENGINEERED WOOD	3.5"x11.25"		MIN. 1.9 E
E216	ENGINEERED WOOD	3.5"x16"		MIN. 1.9 E
E312	ENGINEERED WOOD	5.25"x11.25"		MIN. 1.9 E
E316	ENGINEERED WOOD	5.25"x16"		MIN. 1.9 E
E416	ENGINEERED WOOD	7.0"x18"		MIN. 1.9 E

**COLUMN SCHEDULE** \*ALL EXPOSED WOOD TO BE PRESSURE TREATED

MARK	TYPE	SIZE (W x D)	MARK	TYPE	SIZE (W x D)
C01	SOLID SAWN	4"x4"	C07	CMU COLUMN w/ (1) #5	
C02	SOLID SAWN	6"x6"	C08	CMU COLUMN w/ (2) #5	
C03	SOLID SAWN	8"x8"	C09	CMU COLUMN w/ (3) #5	12"x12"
C04	ENGINEERED WOOD	3.5"x3.5"	C10	CMU COLUMN w/ (4) #5	16"x16"
C05	ENGINEERED WOOD	3.5"x5.25"	C11	STEEL TUBE	3.5"x3.5"x0.25"
C06	ENGINEERED WOOD	5.5"x5.25"	C12	STEEL TUBE	4"x4"x0.25"



**NOTE:**  
ALL HEADERS WILL BE 2 INCHES WIDER THAN THE OPENING ON BOTH SIDES.



**PROPOSED  
FIRST FLOOR FRAMING PLAN**  
SCALE : 1/4" = 1'-0"

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

NO.	REVISION

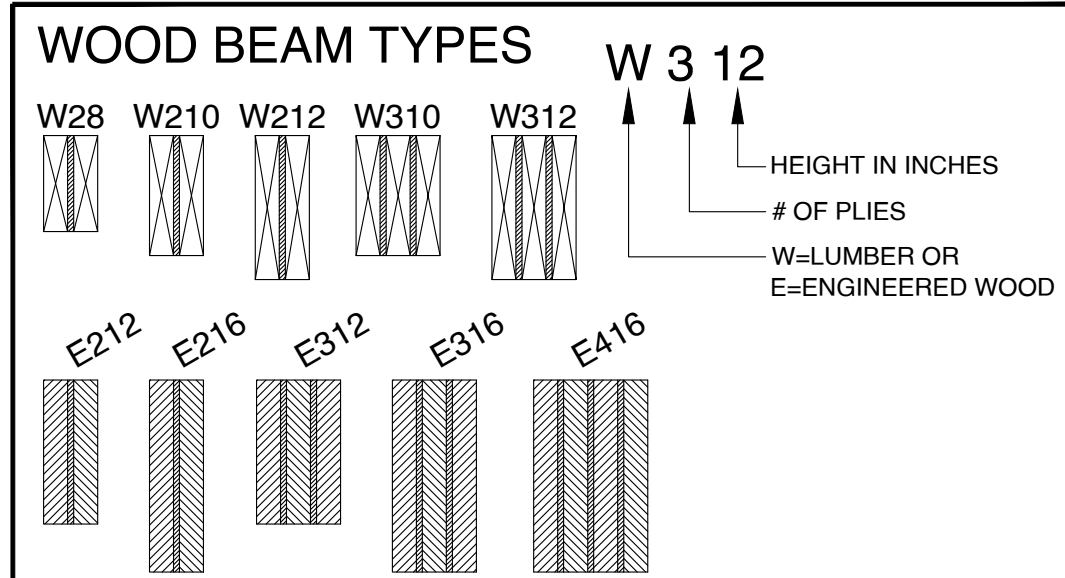
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**S2.0**

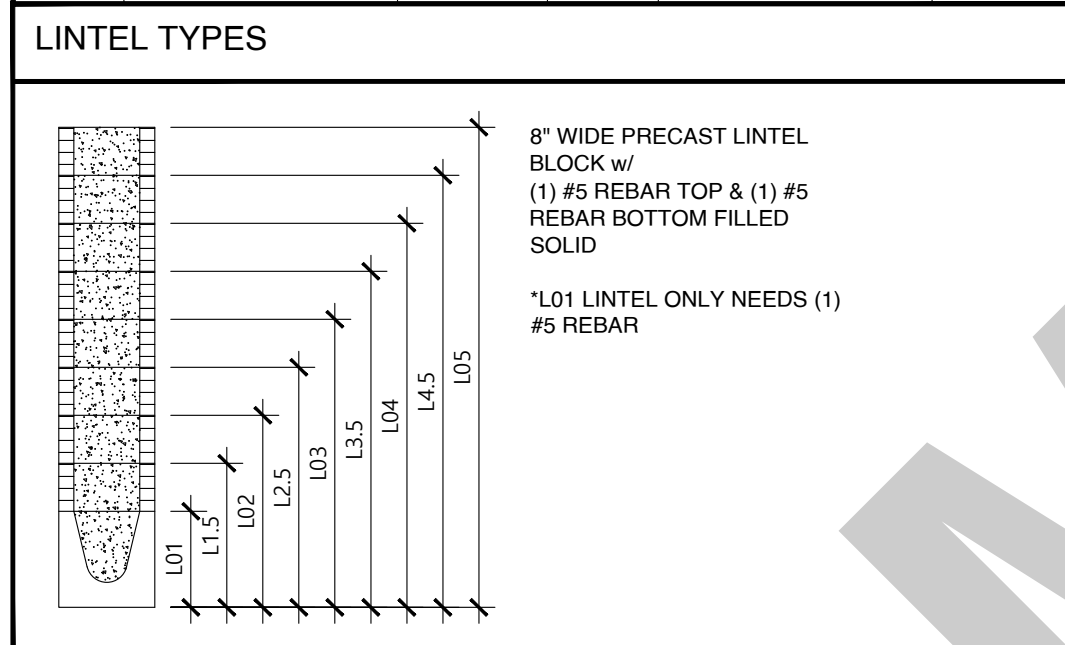


**WOOD BEAM SCHEDULE** \*ALL EXPOSED WOOD TO BE PRESSURE TREATED

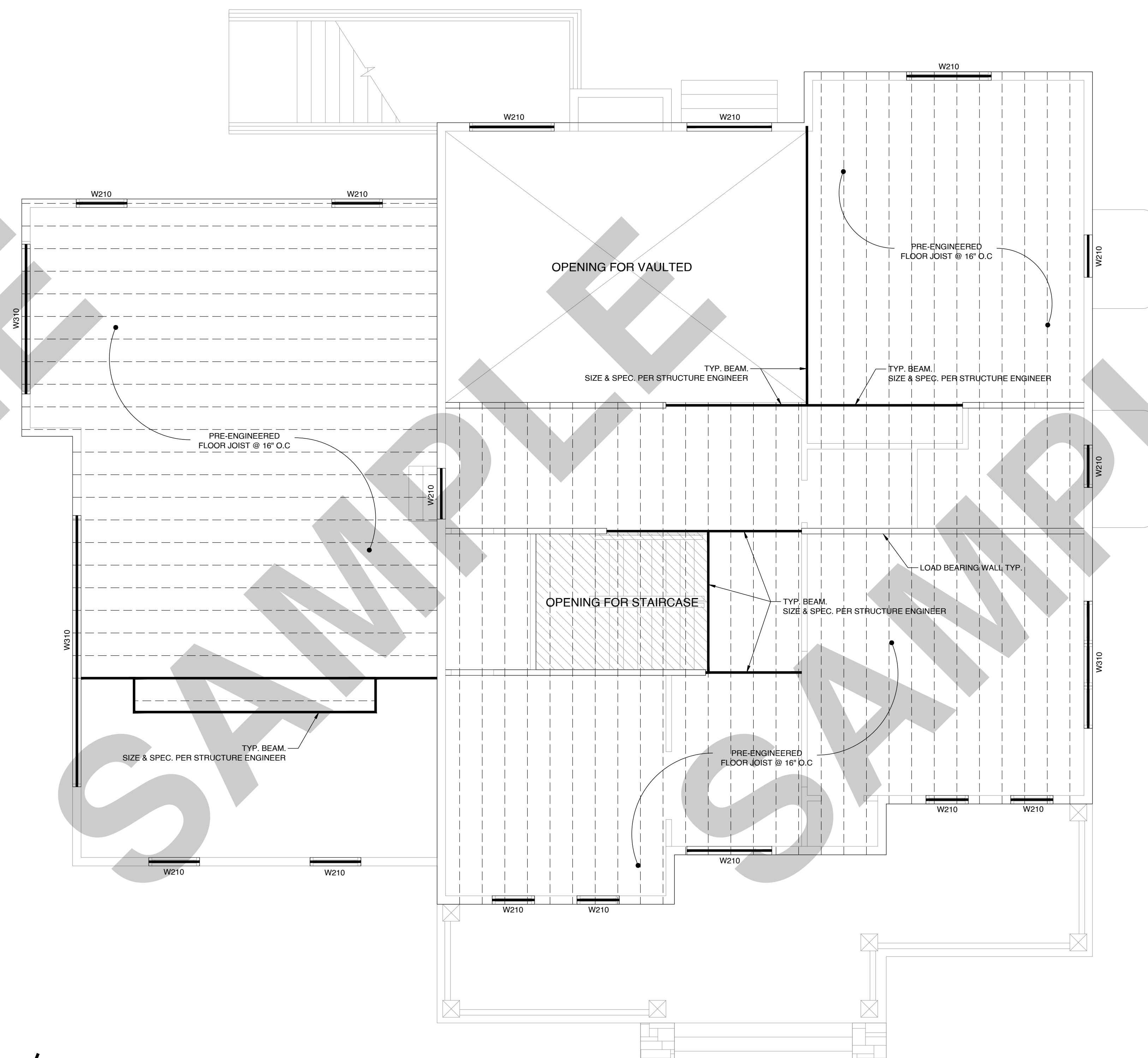
MARK	TYPE	SIZE (W x D)	PLY	GRADE
W28	SOLID SAWN	2"x8"	2	No. 2
W210	SOLID SAWN	2"x10"	2	No. 2
W212	SOLID SAWN	2"x12"	2	No. 2
W310	SOLID SAWN	2"x10"	3	No. 2
W312	SOLID SAWN	2"x12"	3	No. 2
E212	ENGINEERED WOOD	3.5"x11.25"		MIN. 1.9 E
E216	ENGINEERED WOOD	3.5"x16"		MIN. 1.9 E
E312	ENGINEERED WOOD	5.25"x11.25"		MIN. 1.9 E
E316	ENGINEERED WOOD	5.25"x16"		MIN. 1.9 E
E416	ENGINEERED WOOD	7.0"x18"		MIN. 1.9 E

**COLUMN SCHEDULE** \*ALL EXPOSED WOOD TO BE PRESSURE TREATED

MARK	TYPE	SIZE (W x D)	MARK	TYPE
C01	SOLID SAWN	4"x4"	C07	CMU COLUMN w/ (1) #5
C02	SOLID SAWN	6"x6"	C08	CMU COLUMN w/ (2) #5
C03	SOLID SAWN	8"x8"	C09	CMU COLUMN w/ (3) #5
C04	ENGINEERED WOOD	3.5"x3.5"	C10	CMU COLUMN w/ (4) #5
C05	ENGINEERED WOOD	3.5"x5.25"	C11	STEEL TUBE
C06	ENGINEERED WOOD	5.5"x5.25"	C12	STEEL TUBE



**NOTE:**  
ALL HEADERS WILL BE 2 INCHES WIDER THAN THE OPENING ON BOTH SIDES.



**PROPOSED  
SECOND FLOOR FRAMING PLAN**  
SCALE : 1/4" = 1'-0"

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

NO.	REVISION

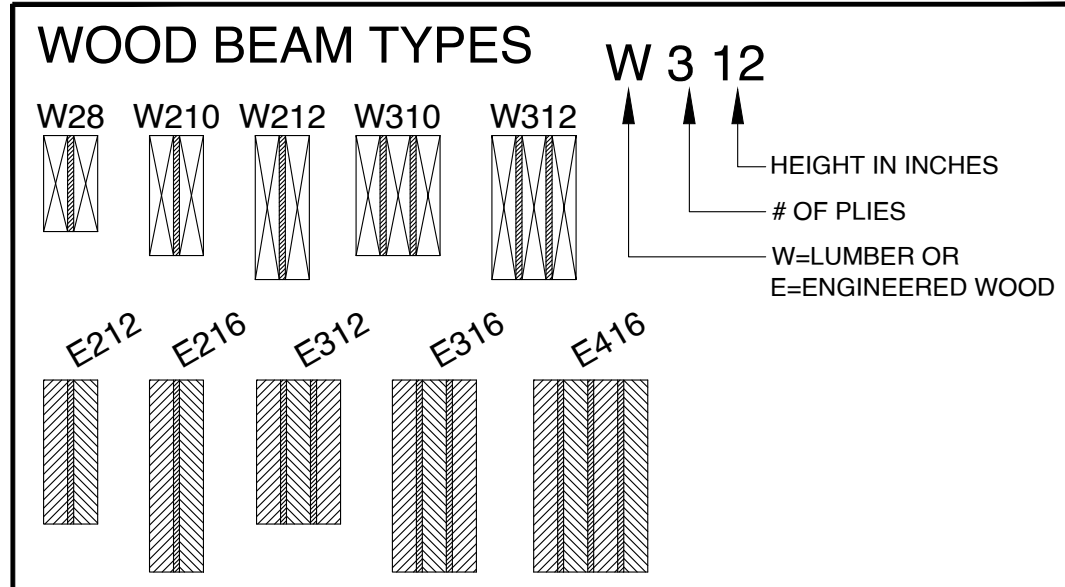
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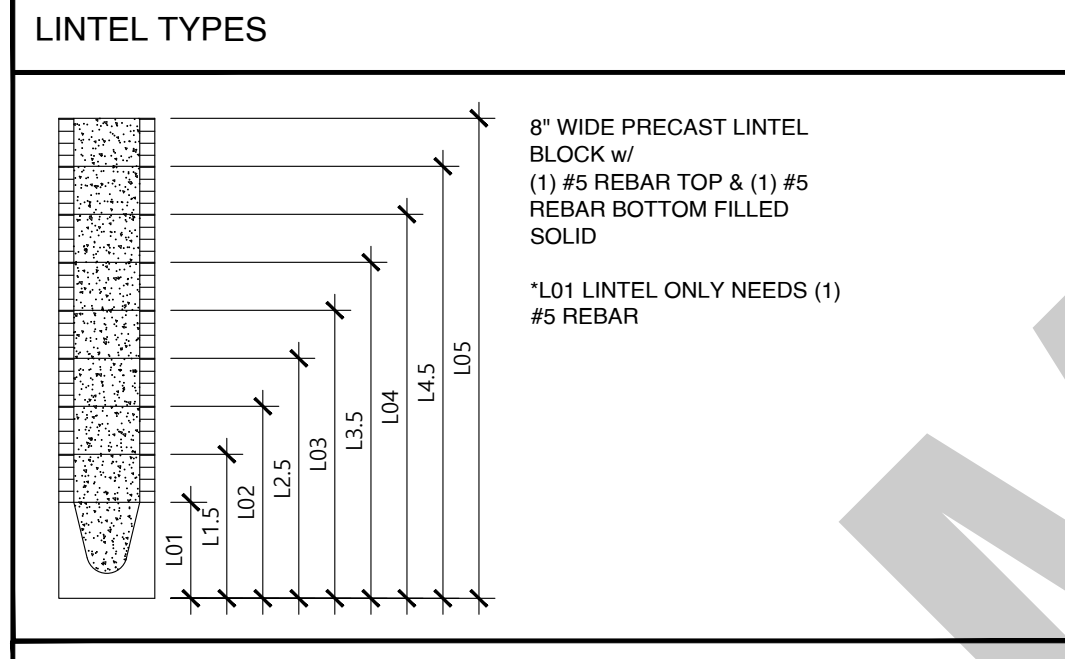


**WOOD BEAM SCHEDULE** \*ALL EXPOSED WOOD TO BE PRESSURE TREATED

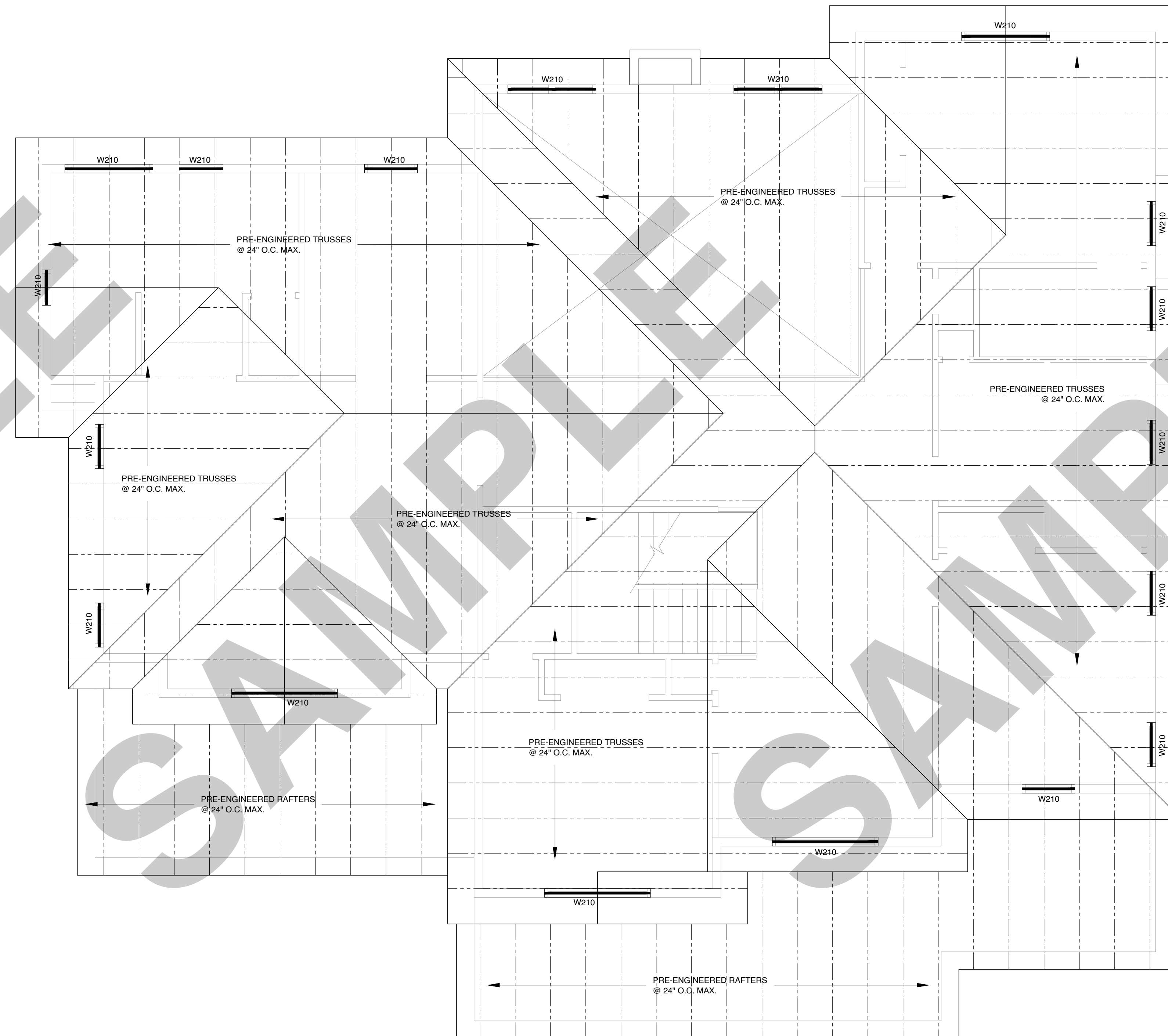
MARK	TYPE	SIZE (W x D)	PLY	GRADE
W28	SOLID SAWN	2"x8"	2	No. 2
W210	SOLID SAWN	2"x10"	2	No. 2
W212	SOLID SAWN	2"x12"	2	No. 2
W310	SOLID SAWN	2"x10"	3	No. 2
W312	SOLID SAWN	2"x12"	3	No. 2
E212	ENGINEERED WOOD	3.5"x11.25"		MIN. 1.9 E
E216	ENGINEERED WOOD	3.5"x16"		MIN. 1.9 E
E312	ENGINEERED WOOD	5.25"x11.25"		MIN. 1.9 E
E316	ENGINEERED WOOD	5.25"x16"		MIN. 1.9 E
E416	ENGINEERED WOOD	7.0"x18"		MIN. 1.9 E

**COLUMN SCHEDULE** \*ALL EXPOSED WOOD TO BE PRESSURE TREATED

MARK	TYPE	SIZE (W x D)	MARK	TYPE	SIZE (W x D)
C01	SOLID SAWN	4"x4"	C07	CMU COLUMN w/ (1) #5	
C02	SOLID SAWN	6"x6"	C08	CMU COLUMN w/ (2) #5	
C03	SOLID SAWN	8"x8"	C09	CMU COLUMN w/ (3) #5	12"x12"
C04	ENGINEERED WOOD	3.5"x3.5"	C10	CMU COLUMN w/ (4) #5	16"x16"
C05	ENGINEERED WOOD	3.5"x5.25"	C11	STEEL TUBE	3.5"x3.5"x0.25"
C06	ENGINEERED WOOD	5.5"x5.25"	C12	STEEL TUBE	4"x4"x0.25"



**NOTE:** ALL HEADERS WILL BE 2 INCHES WIDER THAN THE OPENING ON BOTH SIDES.



**PROPOSED  
ROOF FRAMING PLAN**  
SCALE : 1/4" = 1'-0"

STAMP

**NEW CONSTRUCTION OF  
TWO STORY HOUSE**

NO.	REVISION

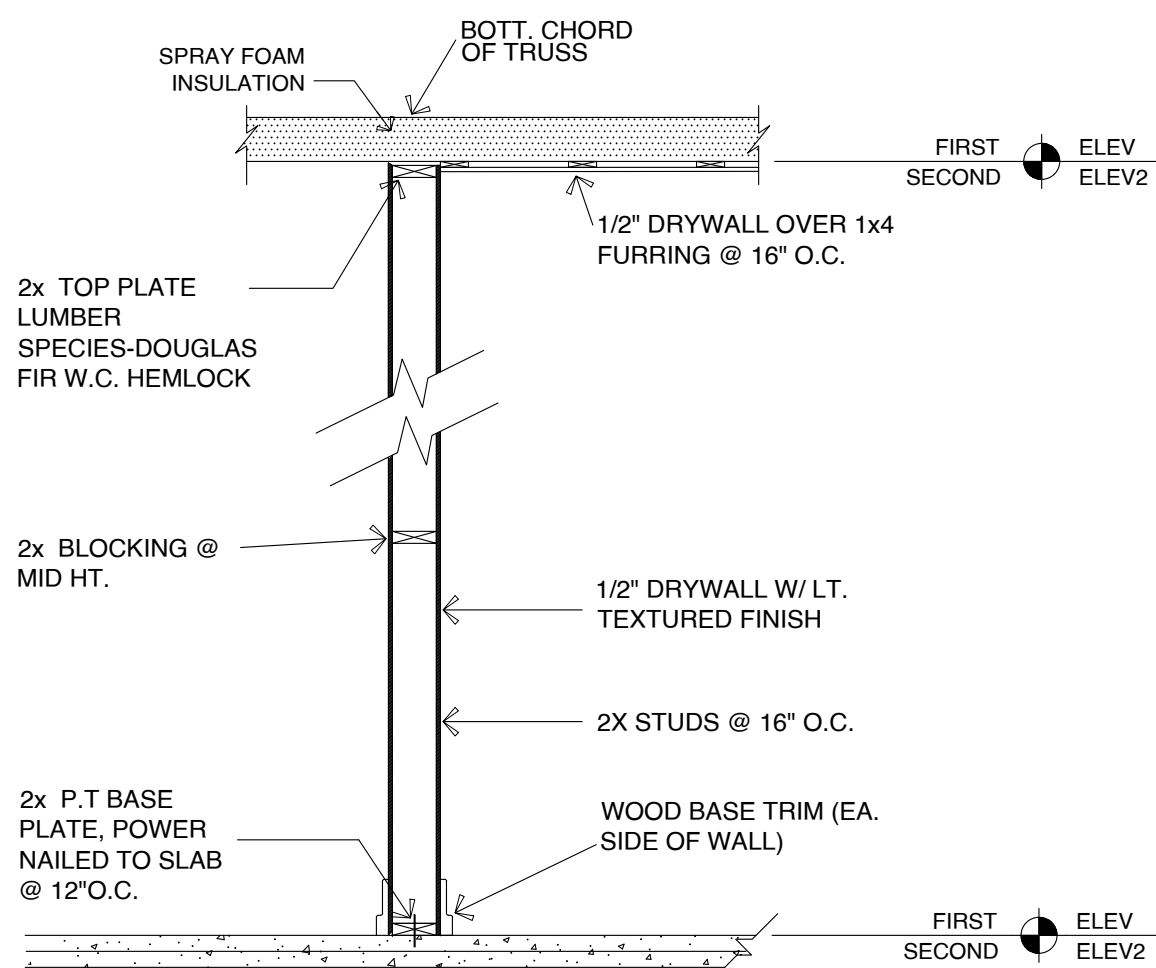
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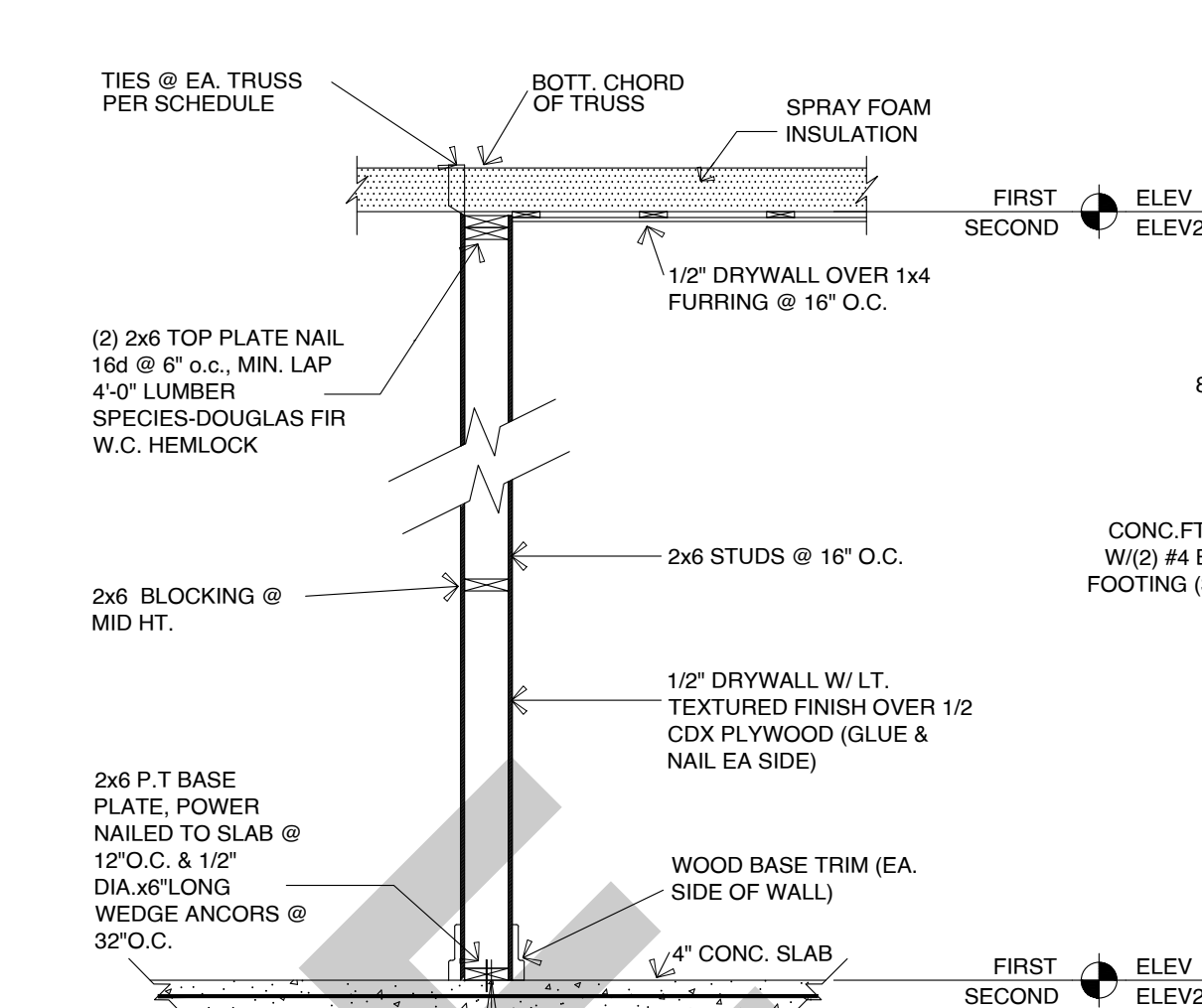
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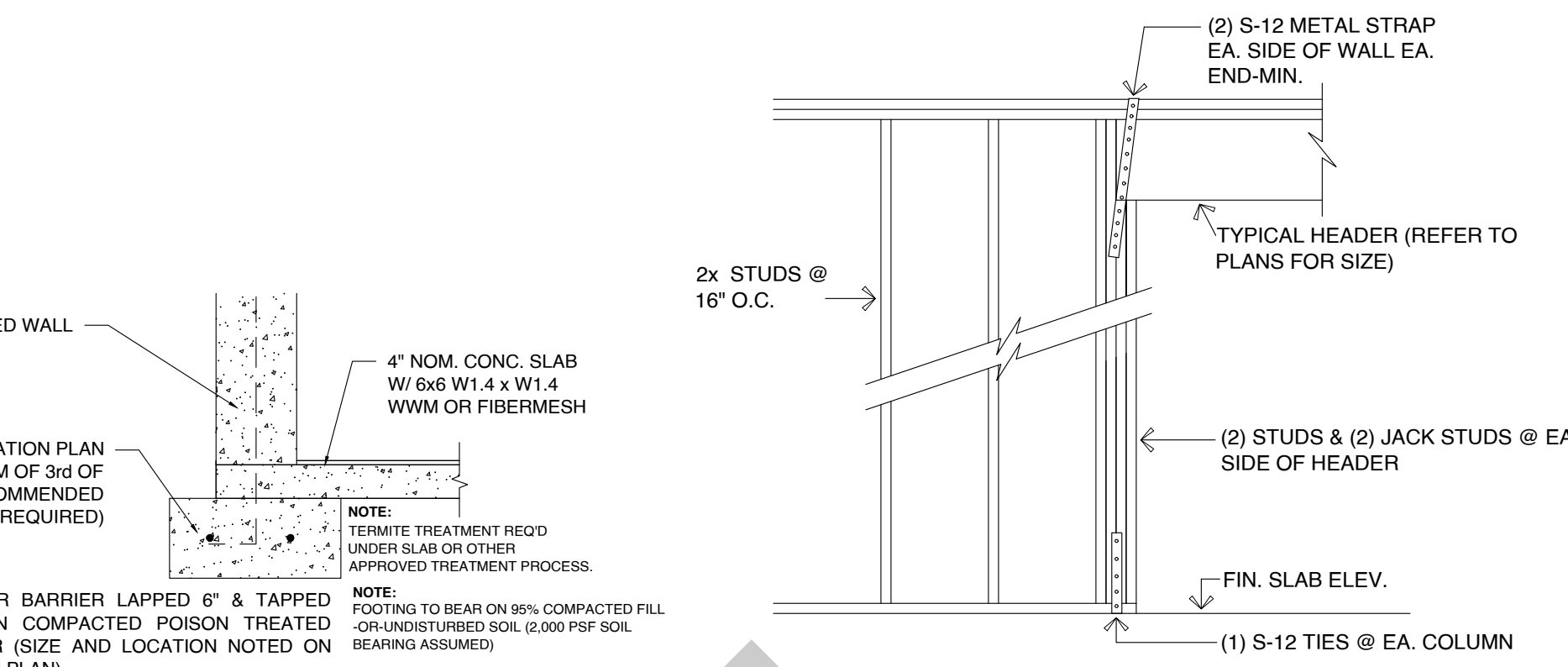
TYPICAL INTERIOR PARTITION SECTION

SCALE: NTS



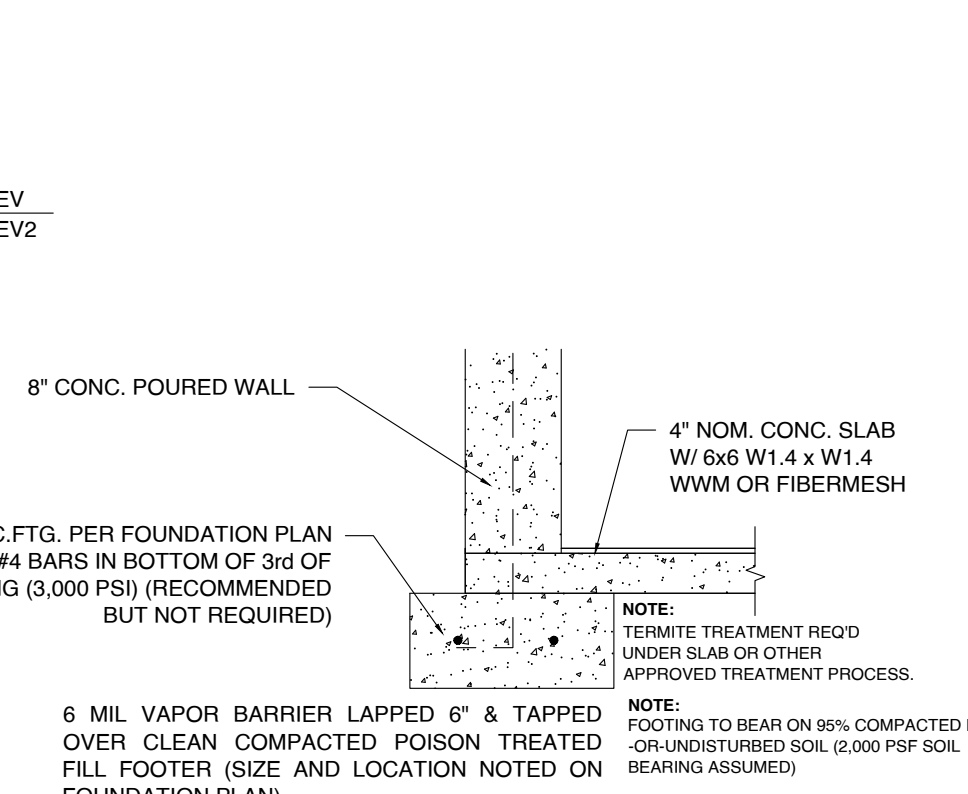
BEARING/SHEAR WALL SECTION

SCALE: NTS



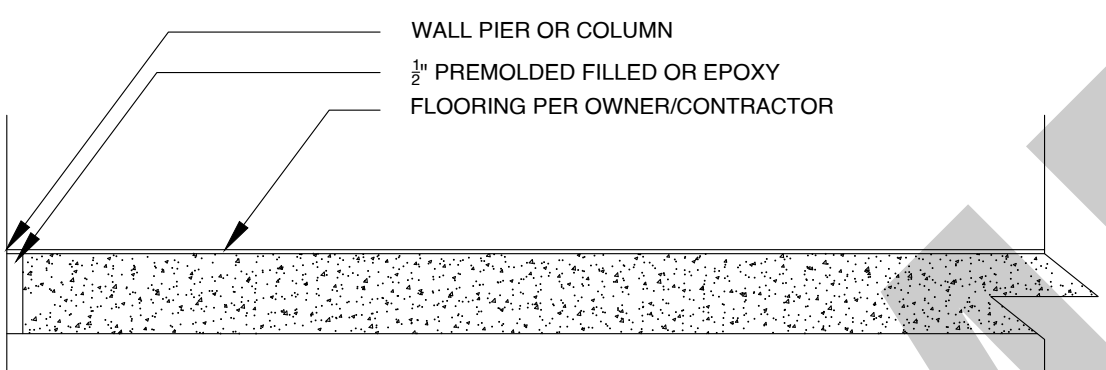
HEADER DETAIL

SCALE: NTS

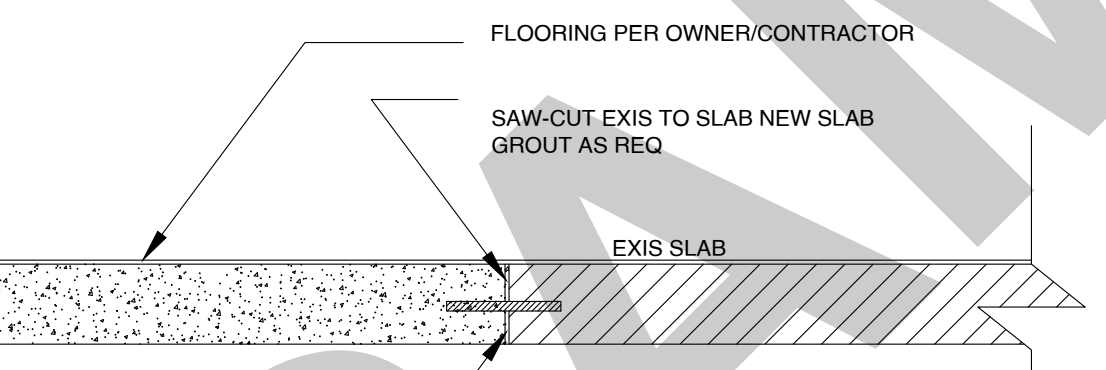


FOOTING DETAIL

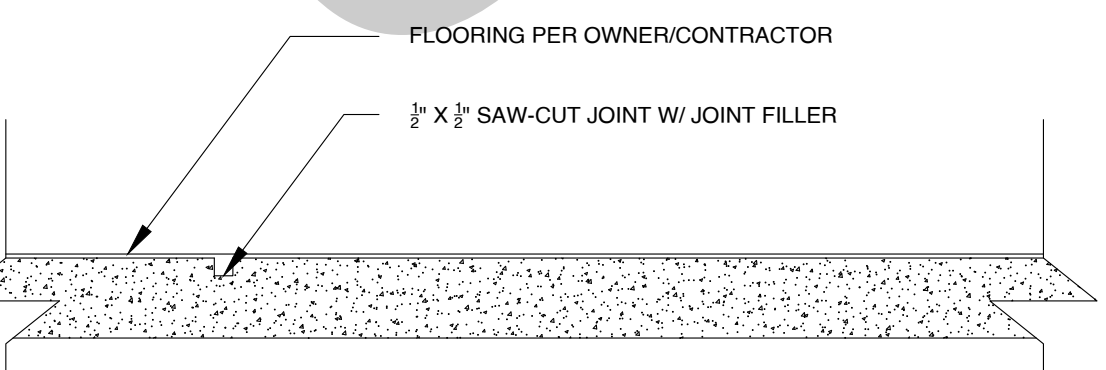
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PINNED JOINT

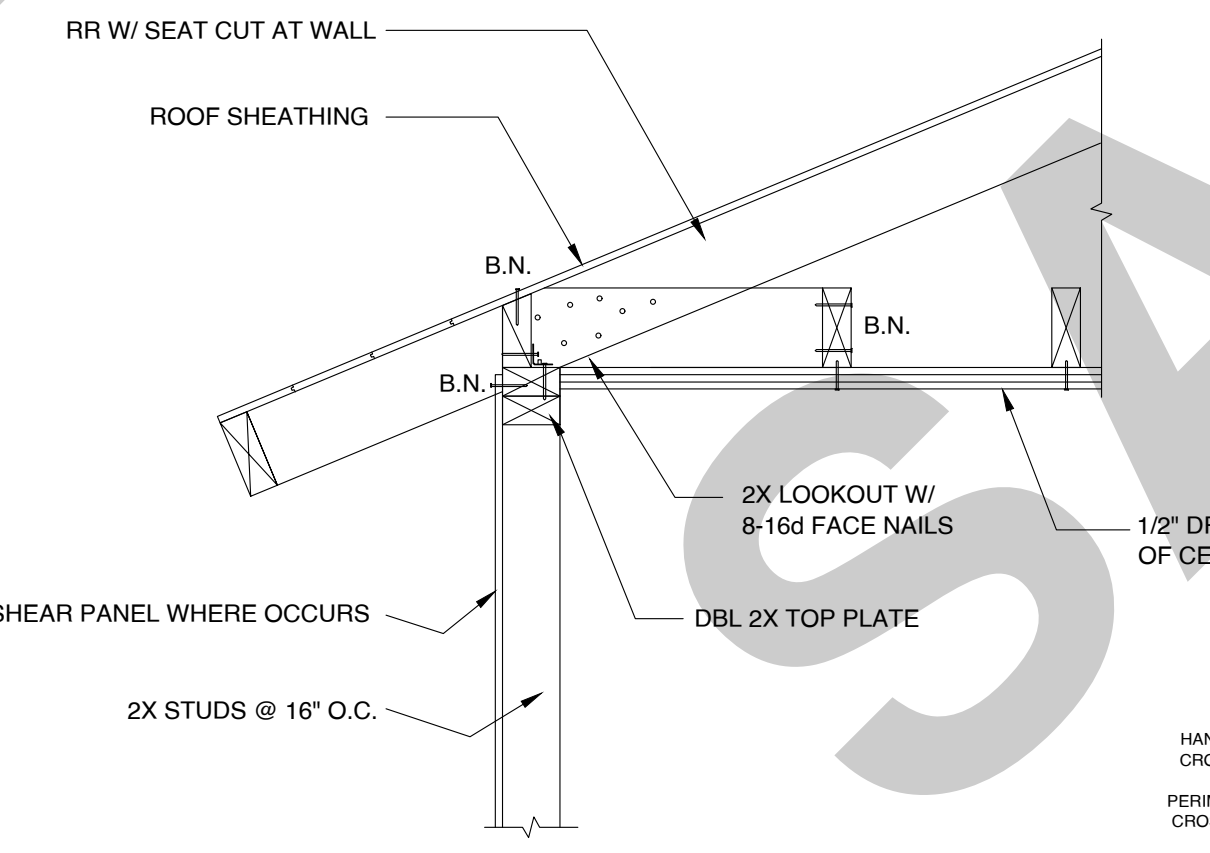


CONTROL JOINT



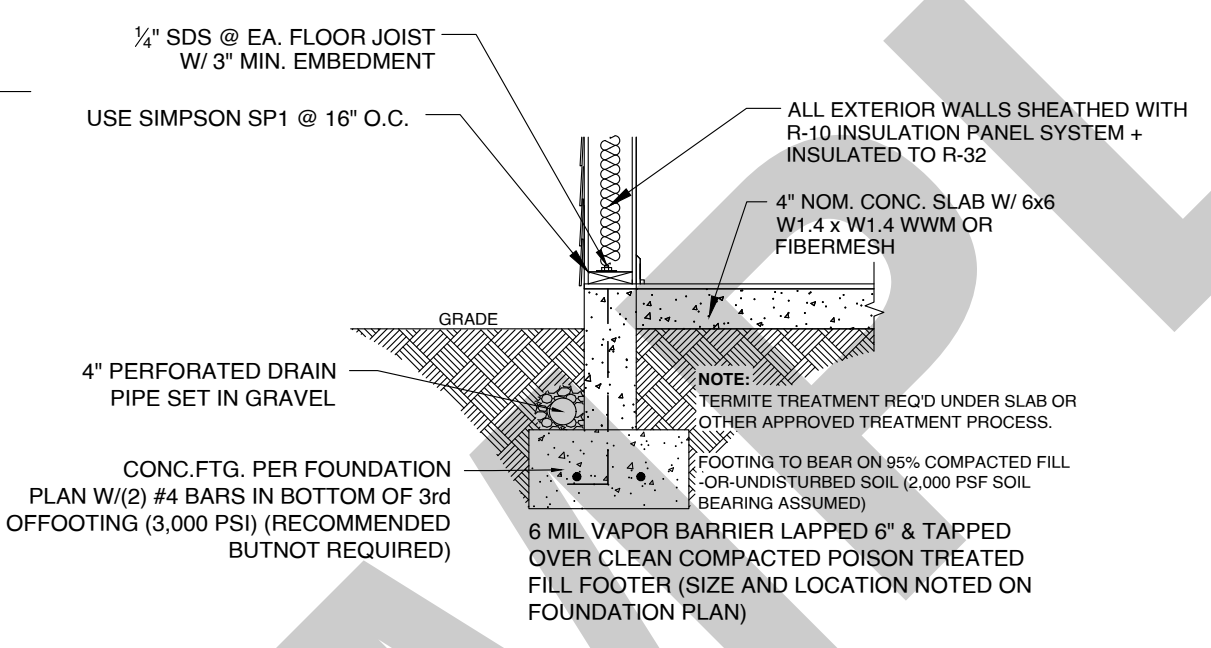
SLAB DETAIL

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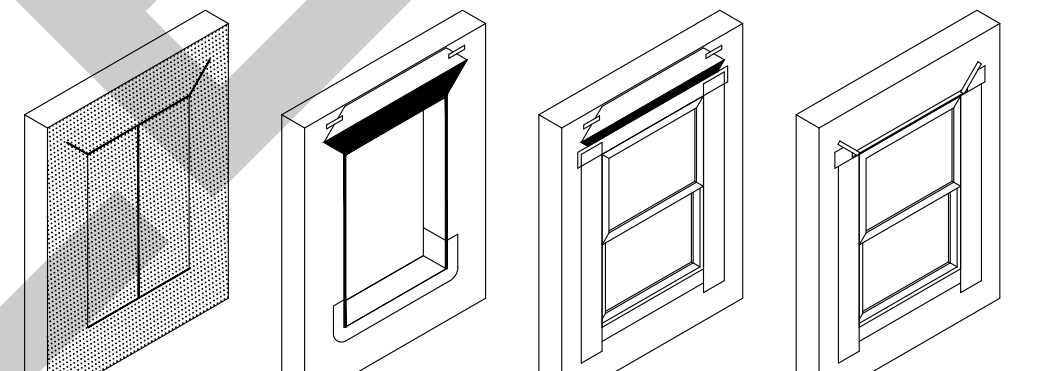
ROOF TO WALL DETAIL

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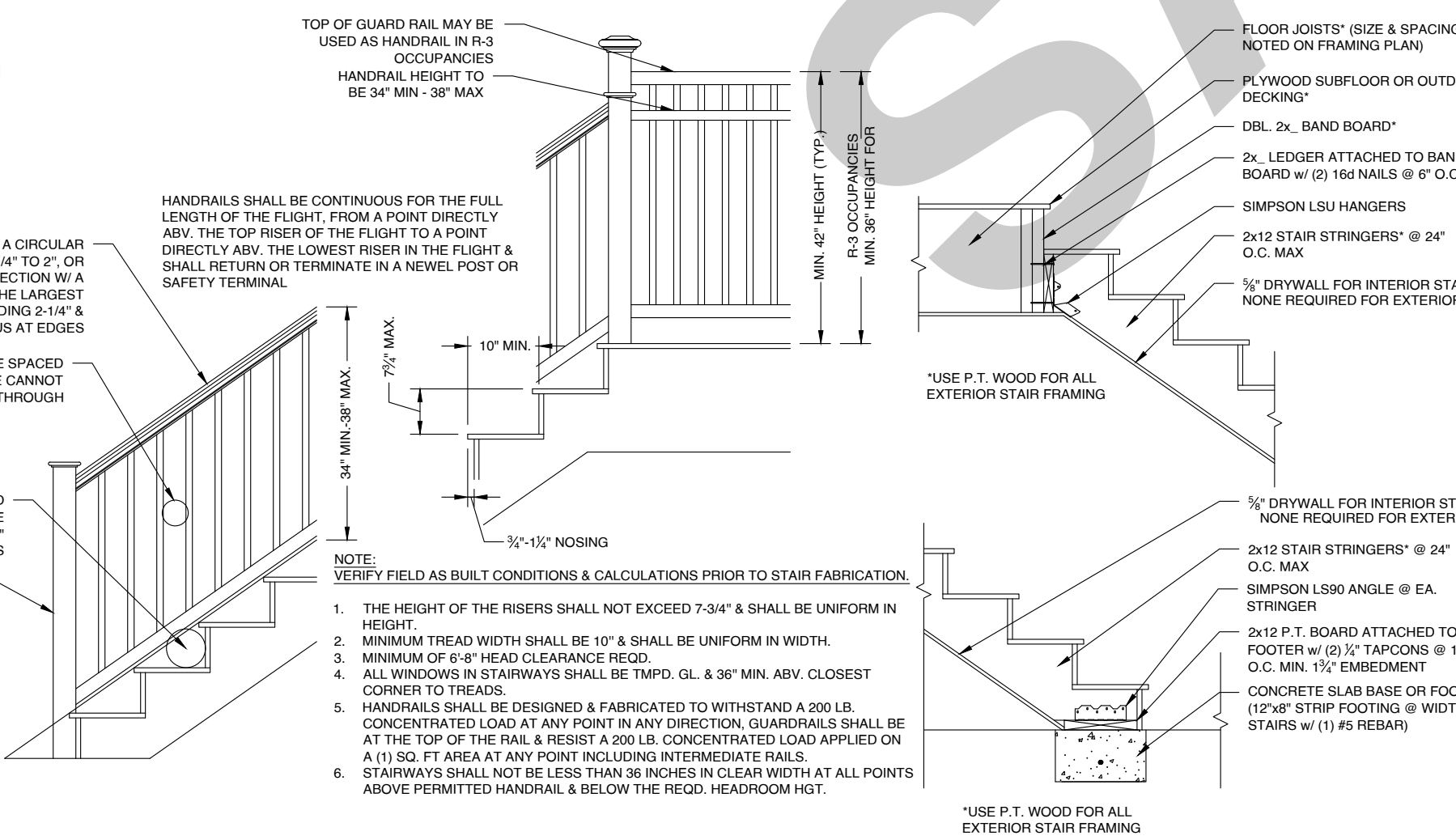
FOOTING DETAIL

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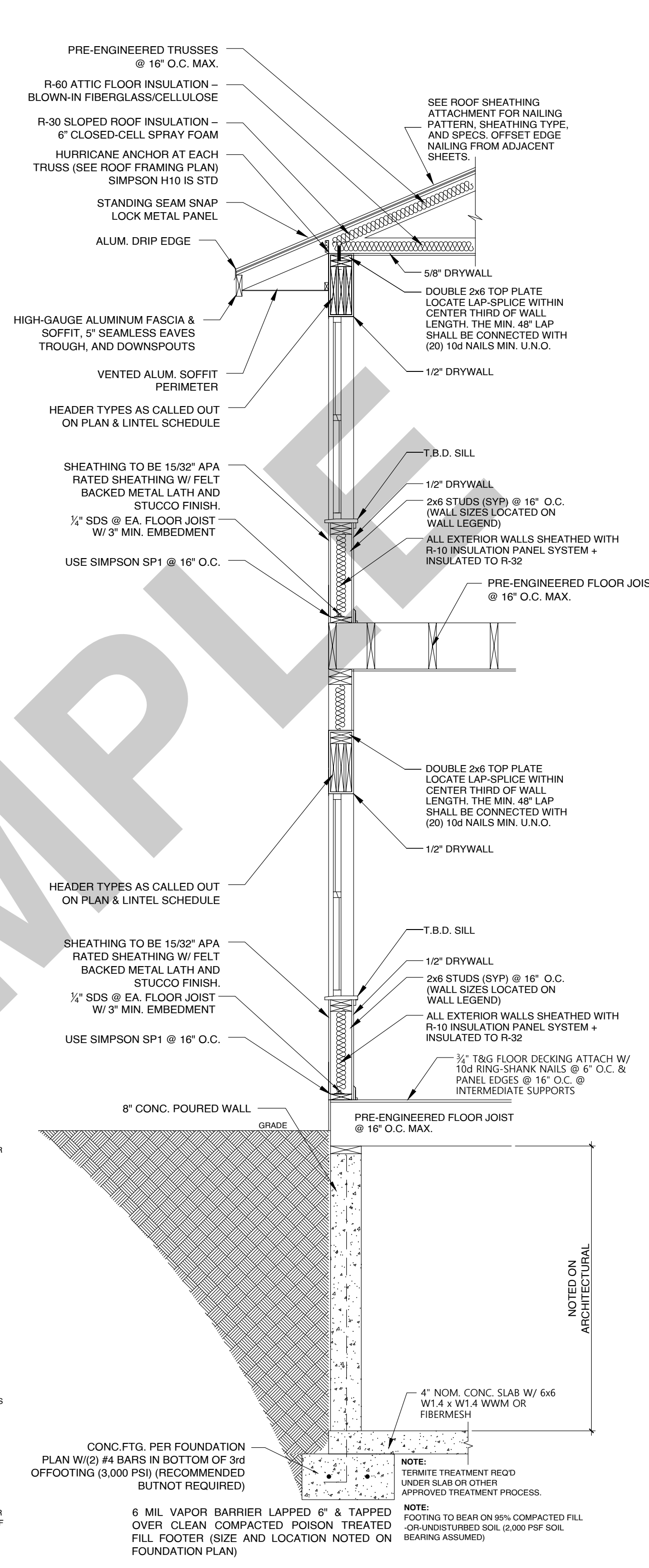
ROUGH OPENING PREPARATION DETAIL

SCALE: NTS



STAIR AND RAILING DETAILS

SCALE: NTS



EXTERIOR WALL SECTION

SCALE: NTS

STAMP

NO. REVISION

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SHEET:

NEW CONSTRUCTION OF  
TWO STORY HOUSE

S4.0